



AGENDA
CITY OF THE DALLES PLANNING COMMISSION
CITY HALL COUNCIL CHAMBERS
313 COURT SREET
THE DALLES, OREGON 97058
CONDUCTED IN A HANDICAP ACCESSIBLE MEETING ROOM
THURSDAY, MARCH 6, 2014
6:00 PM

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES – February 20, 2014
- V. PUBLIC COMMENT (Items not on the Agenda)
- VI. **QUASI-JUDICIAL HEARINGS**
 - A. APPLICATION NUMBER: CUP 172-14; N. Wasco County School District #21;**
REQUEST: Application to gain approval for the installation of an additional two modular buildings. Property is located at 922 Chenoweth Loop Road West, The Dalles, Oregon, and is further described as 2N 13E 29C t.l. 400. Property is zoned “RL/CFO” – Low Density Residential District with a Community Facility Overlay.
 - B. APPLICATION NUMBER: CUP 173-14; N. Wasco County School District #21;**
REQUEST: Application to gain approval for the installation of an additional two modular buildings. Property is located at 1314 East 19th Street, The Dalles, Oregon, and is further described as 1N 13E 10 t.l. 100. Property is zoned “RL/CFO” – Low Density Residential District with a Community Facility Overlay.
- VII. RESOLUTIONS
 - P.C. Resolution No. 537-14; CUP 172-14; N. Wasco County School District #21
 - P.C. Resolution No. 538-14; CUP 173-14; N. Wasco County School District #21
- VIII. STAFF COMMENTS
- IX. COMMISSIONER COMMENTS/QUESTIONS
- X. REPORTS FROM THE STANDARDS AND FINANCE SUB-GROUPS Re: Residential Infill Policies
- XI. ADJOURNMENT

CITY OF THE DALLES PLANNING COMMISSION MINUTES

Thursday, February 20, 2014
City Hall Council Chambers
313 Court Street
The Dalles, OR 97058
Conducted in a handicap accessible room
6:00 PM

CALL TO ORDER:

Chair Lavier called the meeting to order at 6:00 PM. Lavier welcomed returning Planning Commissioner John Nelson.

BOARD MEMBERS PRESENT:

Bruce Lavier, Mark Poppoff, Chris Zukin, Jeff Stiles, John Nelson

BOARD MEMBERS ABSENT:

Dennis Whitehouse

STAFF MEMBERS PRESENT:

Planning Director Richard Gassman, Administrative Secretary Carole Trautman

APPROVAL OF AGENDA:

It was moved by Zukin and seconded by Poppoff to approve the agenda as submitted. The motion carried unanimously; Whitehouse absent.

APPROVAL OF MINUTES:

It was moved by Zukin and seconded by Poppoff to approve the January 16, 2014 minutes as submitted. Zukin, Poppoff, Lavier and Nelson approved, Stiles abstained; Whitehouse absent. The motion carried.

PUBLIC COMMENT

None

QUASI-JUDICIAL HEARING

Application Number: VAR 123-14; **Escape The Dalles, LLC;** **Request:** Application to gain approval for an additional sign on the southeast building elevation. The property is located at 2014 West 7th Street, The Dalles, Oregon, and is further described as 2N 13E 33CB t.l. 1500. Property is zoned "CG" – General Commercial.

Chair Lavier read the rules for a public hearing and asked the Commissioners if any had a conflict of interest, ex-parte contact, or bias that would hinder them from making an impartial decision on the application. Stiles indicated he managed property across the street from the applicant's property. Director Gassman asked Stiles if he saw any reason it would hinder him from making an impartial decision on the application review. Stiles stated he did not believe it would hinder his decision.

Chair Lavier opened the public hearing at 6:08 PM.

Director Gassman stated staff received three written comments to the application and asked they be placed on the record.

Gassman advised that current code allowed for a large volume of signage, but it did not provide an allowance for the number of signs. He reported that the Mayor's appointed Sign Committee was currently looking into changing the allocation of the number of signs and allow the volume of signage to be placed on different sides of structures. The applicant's business was allowed two signs on the face of the building and a free standing sign, but the code did not allow the fourth sign. Gassman pointed out that the options were: 1) allow the variance as approved; 2) deny the variance; or 3) allow the variance with conditions of approval. He said the three comment letters were mostly concerned with the sign's lighting. Options would be to restrict the lighting on the fourth sign by not allowing it to be internally lit, or to have the sign turned off at a certain hour of the evening. Gassman said that if the change in sign code the Sign Committee was considering was adopted, this variance would become a moot point.

Director Gassman said, under the existing code, the applicant would be allowed 4,000 square feet (s.f.) of signage on the front of the building, but he did not know the total square footage of all of the proposed signage. He said the issue was the number of signs, not the square footage of the signs.

Testimony

Proponents

Patrick Nofield, 571 Antler Road, Cannon Beach, Oregon, stated he was the owner of The Dalles Cousins and Cousins Country Inn, and he is very excited to bring Marriott's Fairfield Inn to The Dalles. Mr. Nofield stated the proposed additional flush mount sign was 94 square feet in size, which would place their signage well under the allowed total square footage. One reason Mr. Nofield and business partners requested the additional sign was that, with the motel located on West 7th Street, the motel would be more visible for westbound travelers on I-84 and West 6th Street.

Mr. Nofield said the combined building face area was 20,000 s.f., and if the variance was allowed, there would be a total of 288 s.f. of flush mount signage. Plans also called for a 20 s.f. monument sign in the front of the property. Total building footage is 47,000 s.f. on a 2-acre site. In comparison, Mr. Nofield said, a business located on Ash and W. 6th Streets had approximately a 10,000 s.f. site area and a 2,000 s.f. building are. The business had two free standing signs with two panels each, one 24 s.f. and the other approximately 40 s.f.. There is also a canopy with signage and a logo on the west side approximately 42 s.f. in size. Mr. Nofield commented that when contrasting the two areas, there was some disparity in square footage percentages.

Mr. Nofield showed the commissioners that none of the three property owners that submitted comment letters lived on the southeast side of the structure and would not affect them directly. He said the lighting on the proposed sign was designed to shine on the sign letters rather than lights shining outward towards the neighborhood. The sign colors were not bright, they were muted, Mr. Nofield stated.

Poppoff stated he would like to see signs designated B and C on the plans turned off at 11 PM, because the front sign would be illuminated and visible to travelers, and not very many people would be looking for a motel after 11 PM. Stiles said he would anticipate travelers coming in at all hours. Nelson said he would have no objection to the sign being lighted during dark. He felt that, in proportion to the building size, the signs were proportionally well designed, and the proposed additional sign would not disturb the property owners that submitted comments.

Zukin said the style of the proposed flush mount sign was internally lighted, and the light coming from this sign would shine less brightly than the lights shining out from the room windows. Zukin said the proposed sign had “indirect” lighting, and he felt there should be no restrictions on the lighting or the timing. He was in support of the variance request.

Chair Lavier closed the public hearing at 6:30 PM.

Opponents

None

Deliberation

Zukin said it was a nicely designed sign system, tasteful, and the lights probably would not bother other people. Stiles said he thought the lighting issue would not have any direct effect on the two buildings he managed. Nelson said he visited the site. He said he thought the signage design looked in scale with the building, and there would be no lighting issue.

It was moved by Zukin and seconded by Nelson to approve VAR 123-14, requesting one additional flush mount sign on the southeast side of the structure, based on the findings of fact and the testimony given, including the two conditions of approval as presented in the staff report. Lavier, Zukin, Stiles and Nelson approved, Poppoff opposed; Whitehouse absent. The motion carried.

RESOLUTION:

It was moved by Zukin and seconded by Nelson to approve PC Resolution #536-14 for VAR 123-14, Escape The Dalles, LLC, as submitted. Lavier, Zukin, Stiles and Nelson approved, Poppoff opposed; Whitehouse absent. The motion carried.

STAFF COMMENTS:

Director Gassman welcomed John Nelson to the Commission and advised there was still one open position. Gassman also reported that Wasco County adopted all of the City’s recent LUDO changes, and those amendments would apply to the City’s Urban Growth Boundary Area. Most significant of the changes were those related to House Bill No. 3479 regarding minor partitioning. Gassman said the Sign Committee has been meeting on a regular basis and is making progress.

COMMISSIONER COMMENTS/QUESTIONS:

Various commissioners welcomed Nelson.

NEXT MEETING:

March 6, 2014

ADJOURNMENT:

Chair Lavier adjourned the meeting at 6:42 PM.

Respectfully submitted by Carole J. Trautman, Administrative Secretary.

Bruce Lavier, Chairman

Feb 3 2014

Re: ~~TR~~ VAA 123-14

I oppose the sign
Request on South East side
of the Hotel.

The light would be on all
night. I live on the 8th.

3/2014

A.M. Currie
2114 W 8th
TD
—

VAR 123-14

I inquired about the sign on the new
Hotel and I feel the ones in front should
be enough.

With the additional ones you would have
to change the ordinance - would this
make it easy for other businesses to
do the same, do we really need more signs?

H. Barker
2226 W 8th
The Dalles

FAX to 541-298-5490

FEB - 6 2004

Dawn Hert

From: kayway1936@charter.net
Sent: Wednesday, February 05, 2014 7:47 PM
To: Dawn Hert
Subject: Sign on side of building

I strongly object to a lighted sign of any kind on the side of this building, it would shine directly into my front windows and yard.

I did research the type of sign they wanted, like the ones at the end of Fred Myers building, and I can see it would not be appropriate facing a residential area.

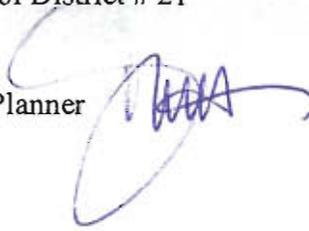
Thank you for your kind consideration of this letter.

Karen Slaughter
2222 West 8th Street
The Dalles, Oregon 97058

City of The Dalles STAFF REPORT

Conditional Use Permit No. 172-14

N. Wasco County School District # 21

Prepared by: Dawn Marie Hert, Senior Planner 

Procedure Type: Quasi-Judicial

Hearing Date: March 6, 2014

Assessor's Map: 2N 13E 29C, tax lot 400

Address: 922 Chenowith Loop

Comprehensive Plan
Designation: "RL" Low Density Residential District with a
"CFO" Community Facility Overlay.

Zoning District: "RL" Low Density Residential District with a
"CFO" Community Facility Overlay.

City Limits: Inside

Request: To install two modular classroom buildings.

BACKGROUND INFORMATION

The subject property is located at 922 Chenowith Loop and has been the location of Chenoweth Elementary School for many years. The site is located on the same parcel as the former Wahtonka High School and includes all the sporting facility fields to the rear of the school. This application will only be addressing the grade school and the immediate area around the school and not include the entire Wahtonka campus parcel.

In 2008 the applicant received approval from the Planning Commission on CUP 146-08 to site two modulars. The applicant is proposing to add two separate modular classroom buildings to the rear of the existing elementary school. The work will also include connection to utilities.

Schools are by definition community facilities. Such a change to the site requires a conditional use permit. This staff report will include both the Conditional Use Permit review, as well as a Site Plan Review.

NOTIFICATION

Property owners within 300 feet, City Departments, franchise utilities, Mid-Columbia Fire & Rescue, Wasco County Health Department, and State Building Codes were mailed a notice on February 20, 2014, as required by Section 3.020.050 D.

COMMENTS RECEIVED

Pre-Application –Site Team. The application was reviewed by the Site Team members on January 23, 2014. The comments received from that application are included in this staff report.

Property Owner Comments – No comments were received as of the date this report.

RECOMMENDATION: Approval, with conditions, based upon the following findings-of-fact.

A. LAND USE AND DEVELOPMENT ORDINANCE 98-1222:

Section 3.010.040 Applications:

Subsection B. Completeness.

FINDING A-1: This application was found to be complete on February 20, 2014. The 120-day State mandated decision deadline is June 20, 2014.

Section 3.020.050 Quasi-Judicial Actions:

Subsection A. Decision Types, (1) Site Plan Review; (3) Conditional Use Permits:

FINDING A-2: This application is for a Conditional Use Permit and Site Plan Review as required by Section 5.050.040 (E). The decision criteria listed in this ordinance section is addressed in the body of this staff report.

Subsection B. Staff Report. The Director shall prepare and sign a staff report for each quasi-judicial action, which identifies the criteria and standards applying to the application and summarizes the basic findings of fact. The staff report may also include a recommendation for approval with conditions, or denial.

FINDING A-3: The staff report will detail criteria and standards relevant to a decision, all facts will be stated, and explanations given. This will be detailed through a series of findings directly related to relevant sections and subsections of the ordinance as they relate to this request.

Subsection C. Public Hearings.

FINDING A-4: The public hearing is scheduled for March 6, 2014.

Subsection D. Notice of Hearing.

FINDING A-5: Appropriate mailings to property owners within 300 feet and notice to affected departments and agencies have been completed.

Section 3.050.030 Review Procedures:

Subsection A. Applications. Conditional Use Permit applications shall be accompanied by at least 15 copies of the concept site plan, and when required, two copies of the detailed landscape and construction/design plans, per the provisions of Section 3.030: Site Plan Review.

FINDING A-6: Copies of the required plans have been submitted.
Criterion met.

Section 3.050.040 Review Criteria

Subsection A. Permitted Conditional Uses. The proposed use is conditionally permitted in the zone district where it is proposed to be located.

FINDING A-7: Schools are conditionally allowed in the RL zone.
Criterion met.

Subsection B. Standards. The proposed use conforms to all applicable standards of the zone district where the use is proposed to be located. The proposed use will also be consistent with the purposes of this ordinance, applicable policies of the Comprehensive Plan, and any other statutes, ordinances, or policies that may be applicable.

FINDING A-8: Section 5.010.050 sets out the development standards for the RL zone. The proposed buildings will meet all development standards. Criteria met.

Subsection C. Impact. The proposed structure(s) and use(s) shall be designed and operated in such a way as to meet the standards of this section. Impacts caused by the construction of the conditional use shall not be considered regarding a decision on the validation of the application.

1. Noise impacts across the property line shall not exceed 60 decibels. Noise related to traffic impacts shall not be included in this determination. Nothing in this section shall modify other noise ordinance standards as adopted by the City.

FINDING A-9: The use as a school has been established. The two added classrooms should not increase the existing noise generated by the school children and vehicles that access the site. The traffic impacts generated with this use cannot be used in making a determination. The applicant will be advised of the allowable noise levels.

2. Lighting impacts across the property line shall not exceed 0.5 foot-candles (a foot-candle is the amount of light falling upon a 1-square-foot surface which is 1 foot away from a 1-candlepower light source.)

FINDING A-10: Additional lighting was not shown on the Site Plan and will be addressed as a condition of approval and discussed later in this report.

3. Dust and other particulate matter shall be confined to the subject property.

FINDING A-11: The proposed use would not typically create dust or other particulate matter. All areas of maneuvering for vehicles will be

required to be a hard surface which should aide in a reduction in dust and particulate matter.

4. *The following odors shall be completely confined to subject property:*
 - a. *industrial and/or chemical grade chemicals, solvents, paints, cleaners, and similar substances;*
 - b. *fuels, and*
 - c. *fertilizers, manure, or other animal waste products, other than for landscape installation and maintenance.*

FINDING A-12: The proposed use will not be using any of the listed items that cause odors. This proposal does not indicate that many of these nuisances need to be reviewed in depth for mitigation purposes. Trash receptacles should be sized to fully accommodate the needs of the uses at the site. No outdoor storage of materials or supplies related to this proposed use will be allowed. Criterion can be addressed as a condition of approval.

5. *Vibrations shall not be felt across the property line.*

FINDING A-13: The proposed development does not include machinery or equipment that causes vibration. Criterion does not apply.

6. *The transportation system is capable, or can be made capable, of supporting the additional transportation impacts generated by the use. Evaluation factors shall include, but are not limited to:*
 - a. *Street designations and capacities; and*
 - b. *On-street parking impacts.*

FINDING A-14: Access to this parcel is from Chenoweth Loop Road. No additional access is being requested with this application. Staff discussed the need of sidewalk in the area of the school and is suggesting that the applicant provide sidewalk for the frontage of the elementary school only. The plans reflect staff's recommendation. Criterion met.

7. *In areas designated as Historic Districts, proposed development and redevelopment shall first require review and approval of the Historic Landmarks Commission in accordance with the procedures of the Historic Resources Ordinance (General Ordinance No. 94-1194.)*

FINDING A-15: The subject property is not a historic landmark, nor is it located in a National Historic District. Criterion does not apply.

Site Plan Review - Section 3.030.040 Review Criteria.

- A. **City Ordinance Provisions.** *All the provisions from the applicable City ordinances have been met or will be met by the proposed development.*

FINDING A-16: All provisions are met by this proposal, or will be met, as a condition of approval. This will be detailed in the staff report through a series of findings.

B. Public Facilities Capacity. *Adequate capacity of City facilities for water, sanitary sewer, storm sewer, and streets and sidewalks can and will be provided to, and were applicable, through, the subject property.*

FINDING A-17: Adequate capacity exists for facilities including water, storm sewer, and streets. As stated above, staff has recommended that sidewalk be installed for the frontage along Chenoweth Loop Road up to the end of the elementary school/parking lot. Water is available from Chenowith Water PUD. Sanitary sewer is available from the City. The Dalles Public Works Department and Chenowith Water PUD have verified this information. Criterion met.

C. Arrangement of Site Elements.

1. Promote pedestrian, bicycle, and vehicular safety and welfare.

FINDING A-18: Pedestrian safety and welfare is promoted by the installation of sidewalks along the immediate frontage of the property. A walkway will be required to be provided from the public sidewalk to the main entrance of the building. Existing parking is provided at the front of the building. Bicycle parking also exists at the school site. Bike lanes exist on Chenowith Loop. Vehicular safety is promoted by having adequate stall and aisle dimensions as well as improved access points along Chenowith Loop Road. Criterion met.

2. Preserve and maintain public amenities and significant natural features.

FINDING A-19: There are no known public amenities or significant natural features on this site. Criterion does not apply.

3. Avoid traffic congestion.

FINDING A-20: The provided on-site parking meets minimum spacing and lane requirements. Access to the parking lot will be via the existing access points. Criterion met.

4. Minimize potential adverse impacts on surrounding properties.

FINDING A-21: The range of uses for this site does not have a high potential for off-site impacts. Nuisance conditions that may develop are addressed on a complaint basis; this includes noise, dust, vibration, and odor. Those criteria are addressed earlier in the Conditional Use Permit portion of this staff report.

D. Lighting. *Proposed lighting shall not directly illuminate adjoining properties.*

FINDING A-22: General lighting of the parking areas and the buildings is not shown on the site plan. Lighting is not allowed to illuminate adjoining properties. If additional exterior lighting is planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the

issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. These items will be addressed as a condition of approval.

E. City Engineer Approval. *Detailed construction/design plans for public infrastructure, improvements, or rights of way affected by or located within a proposed development site shall be approved by the City Engineer as a condition of Site Plan Review approval.*

FINDING A-23: The detailed construction/design plans for all improvements located within the proposed development site shall be approved by the City Engineer prior to construction. Criterion will be addressed as a condition of approval.

F. Waiver of Remonstrance. *Where applicable, the applicant shall agree to waive any future rights to remonstrate against future improvements, per the provision of Section 6.110: Waiver of Right to Remonstrate of this ordinance.*

FINDING A-24: All improvements adjacent to the site will be required to be installed with this application. A Waiver of Remonstrance will not be necessary. Criterion does not apply.

Section 5.060.040 - Conditional Uses B. Community Facilities

Section 5.100.020 - Conditional Uses L. Public and Private School Facilities

FINDING A-25: As indicated on the application submitted, the proposed use is for a public school. The use is allowed conditionally in the Residential Low Density zoning district with a Community Facility Overlay. Criterion met.

Sections 5.010.050 & 5.100.040 Development Standards:

The following table specifies General Commercial development standards applicable to this application.

Residential Low Density/ Community Facility Overlay	Standard	Proposal	Meets Requirements
Lot Size	<i>No minimum</i>	Existing lot, 29+ acres	Criterion met.
Setbacks	<i>Front and Side Yard: No minimum, except that vision clearance on corner lots shall be met.</i>	New classrooms are located to the rear of the existing elementary school and not in the vision clearance area.	Criterion met.
Building Height	<i>40 ft. maximum within 100 feet of a residential district.</i>	One story modulars are approximately 14-16 feet.	Yes
Off-Street Parking	<i>Elementary Schools- 1.5(min) spaces per</i>	Parking and bicycle space was not provided	Automotive parking & bicycle parking will be

	<i>classroom - 2(max) spaces per classroom. & Bicycle spaces @ 5 per classroom.</i>	with the application and can be addressed as a condition of approval. The existing parking lot appears that it may be adequate.	addressed as a condition of approval.
Landscaping	<i>Detailed Below</i>	Detailed Below	Detailed Below

FINDING A-26: Criterion will be addressed with conditions of approval.

Section 5.050.060 Design Standards:

Subsection A. Exterior Elevations. *Exterior elevations of buildings (except allowed 1 and 2 family dwellings) shall incorporate architectural design features such offsets, balconies, projections, base/wall/cornice design, windows, entries, bays, seating, wall articulation, traditional storefront elements, or similar elements to preclude large expanses of uninterrupted building surfaces.*

1. **Horizontal.** *At least 3 architectural design features shall be incorporated along the horizontal face (side to side) of the structure.*
2. **Vertical.** *At least 2 architectural design features shall be incorporated along the vertical face (top to bottom) of the structure.*

FINDING A-27: The proposed building elevation drawings were not submitted with the application. Criterion will be addressed as a condition of approval.

Subsection B. Entries.

1. **Commercial and Residential.** *Primary entries shall face a public street or designated access drives and shall be accessed from a public sidewalk in accordance with the provisions of Subsection (C) below. Secondary entries may face parking lots or loading areas. Doors shall not swing into public rights-of-way.*

FINDING A-28: The primary entrance will face the public street, Chenoweth Loop Road. Doors will not swing into the public right of way. Criterion met.

Subsection C. Pedestrian Walkways. *Each developed site shall include pedestrian walkway(s) designed to connect buildings and other accessible site facilities clearly and directly to adjacent public street/sidewalk(s). Walkways shall meet City standards for sidewalk construction, and be the shortest practical distance between the main entry(ies) and the public right-of-way. If adjacent to parking where vehicles overhang the walkway, then the walkway shall be to the City standard plus 2 ½ feet in width for each side vehicles overhang. Walkways shall be distinguished from internal driveways and accessways using at-grade distinctive paving materials or other appropriate surfaces which contrast visually with adjoining surfaces. Walkways, including driveway and accessway crossings, shall be constructed and maintained for pedestrian safety, and shall meet the requirements of the Oregon Americans with Disabilities Act, the State of Oregon Structural Specialty Code, and the Oregon Revised Statutes.*

Section 10.040 Pedestrian Requirements:

Subsection B. Connectivity.

- (3) (a) *The on-site pedestrian circulation system shall connect the sidewalk on adjacent street(s) to the main entrance of the primary structure on the site to minimize out-of-direction pedestrian travel.*
- (b) *Walkways shall be provided to connect the on-site pedestrian circulation system with existing or planned pedestrian facilities which abut the site but are not adjacent to the streets abutting the site.*
- (c) *Walkways shall be as direct as possible and avoid unnecessary meandering.*
- (d) *Walkway/driveway crossings shall be minimized, and internal parking lot circulation design shall maintain ease of access for pedestrians from abutting streets and pedestrian facilities.*
- (e) *Walkways shall be separated from vehicle parking or maneuvering areas by grade, different paving material, or landscaping. They shall be constructed in accordance with the sidewalk standards adopted by the City Engineer. (This provision does not require a separated walkway system to collect drivers and passengers from cars that have parked on site unless an unusual parking lot hazard exists).*

FINDING A-29: The site plan shows a proposed pedestrian walkway from the main building to the new classrooms. In addition, an access will need to be provided to the newly constructed public sidewalk on Chenoweth Loop Road. Criterion will be addressed as a condition of approval.

Section 6.010 Landscaping Standards:

6.010.030 General Provisions

Subsection B. Landscape Plans; *where landscaping is required by this Ordinance, detailed landscape plans may be submitted with the development application. If not submitted for approval with the application, approval of detailed landscape plans shall always be a condition of the concept plan approval of the Site Plan Review process.*

FINDING A-30: The “CFO” Community Facility Overlay zone requires the underlying zone requirements be met, and the “RL” Residential Low Density zone requires 1.5 times the first floor area of all structures. A majority of the 29-acre parcel contains landscaping if not occupied by a structure, parking lot or track. Criterion met.

Section 7.030 General Design Standards for Surface Parking Lots:

7.030.040 Subsection C. Interior parking Lot Landscaping. *In addition to buffer landscaping along public right-of-way (excluding alleys and accessways) and along interior lot lines where required, all surface parking lots greater than 6 spaces shall include landscaping to cover not less than 10% of the interior of the parking area in accordance with the following:*

1. *A planting strip bay shall be located at the end of each parking row and at intervals between parking rows. Planting bays shall be a minimum of 9' wide; to allow doors to open without damage, and a minimum of 180 square feet. Each*

bay shall be curbed, and planted with 1 approved tree having a clear trunk height of at least 9 feet when mature. Height of all plantings, other than trees, in planting bays is limited to 24 inches.

2. All trees shall be selected from a list of acceptable parking lot trees provided by the Director.
3. Trees shall not be placed within 10 feet of a public utility easement without prior approval of the City Engineer.
4. Parking area shall be separated by a 5 foot landscaped planting bed from all exterior walls that include no pedestrian entranceways or loading areas.
5. Driveways, accessways, and access drives into vehicle parking lots from public and private streets shall be bordered (both sides) by a minimum 5 foot wide landscape planter strip with approved trees planted 20-30 feet on center and low shrubs.
6. Trees shall be evenly distributed throughout the parking area according to the applicable requirements of this section and the following table....Zone District "CG"- Commercial General – Parking Lot Tree Requirement Ratio – 1 tree per 12 parking spaces.

FINDING A-31: The proposed vehicular areas were not calculated in the submittal. If there is a modification or addition to the parking area that exceeds 10%, the above requirements will be required to be met. Criterion will be addressed as a condition of approval.

Section 7.020.100 Storm Water Pretreatment:

All parking areas which are designed to accommodate 25 or more vehicles, or to contain 2 or more levels, shall be required to install an oil/water separator to treat storm water capture before discharging to the storm water system. The separator design and maintenance schedule shall be approved by the City Engineer. (Note: See City Ordinance number 97-1213, Sewer Regulations and Ordinance number 96-1205, Pretreatment.)

FINDING A-32: If there is an addition to the parking lot of more than 10%, the requirement of installing storm water pre-treatment will be necessary. Criterion will be addressed as a condition of approval.

Section 6.050 Access Management

Subsection 6.050.030 General Requirements

E. Emergency Access *All development shall be arranged on site so as to provide safe and convenient access for emergency vehicles.*

FINDING A-33: The proposed project includes existing access points on Chenoweth Loop Road. These access points meet the minimum width for emergency vehicles. All on-site vehicular aisles meet code required minimums, and all for the safe and convenient access of emergency vehicles. This criterion is, therefore, met.

IF APPROVED, RECOMMENDED CONDITIONS OF APPROVAL:

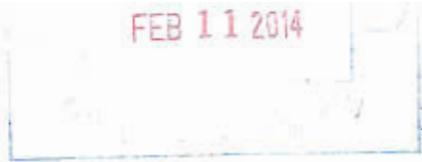
1. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWPA

- standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
2. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
 3. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
 4. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
 5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
 6. Applicant will need to be sure that the new structures are not located over existing gas lines that serve the property. Contractor should call for a locate prior to any excavation.
 7. Details of the parking spaces and bicycle spaces will need to be provided to ensure that the site contains parking to meet the code requirements. Applicant needs to show that the number of existing parking spaces meets code requirements. For elementary schools the minimum number of automobile parking spaces is 1.5 spaces per classroom. The bicycle parking requirement is 5 spaces per classroom.
 8. If new lighting is planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
 9. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond allowable levels as determined by local, state, and federal standards shall not be allowed.
 10. If the parking lot changes 10% or more, it will be required to be brought up to the current standards and require the installation of a storm water pre-treatment device. A maintenance agreement will be required for any required oil/water separators and must be on file with the City. The applicant/owner must also submit annual reports to the City.
 11. Exterior elevation drawings will be required showing that the modular structures meet the design guidelines as stated in the LUDO.
 12. Building permits will be required for each structure. System Development Charges will be assessed at that time.
 13. Sidewalks will be required to be installed along the immediate frontage of the Elementary School as shown on the Site Plan. A sidewalk permit will be required by both the City and the County.
 14. Pedestrian access from the public sidewalk to the main building will be required with the installation of the new public sidewalk.

CONDITIONAL USE PERMIT APPLICATION

CITY OF THE DALLES
Community Development Department
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
Fax (541) 298-5490
www.ci.the-dalles.or.us

Date Filed 2/11/14
File# CUP 172-14
Date Deemed Complete 2/11/14
Hearing Date 3/4/14
Approval Date _____
Permit Log # _____
Other Cross Reference# _____



APPLICANT

LEGAL OWNER (If Different than Applicant)

Name North Wasco County School District 21

Name _____

Address 3632 West 10th Street
The Dalles, OR 97058

Address _____

Telephone # 541-506-3430

Telephone # _____

E-mail address: _____

PROPERTY INFORMATION

Address 922 Chenowith Loop West, The Dalles, OR 97058

Map and Tax Lot 2N 13E 29C Tax Lot 400

Size of Development Site Less than 1 acre

Zone District/Overlay RL/CFO

In City Limits: Yes X No _____

Comprehensive Plan Designation RL/CFO

Geohazard Zone: _____

PROJECT INFORMATION

New Construction Expansion/Alteration

Change of Use

Amend Approved Plan

Current Use of Property Elementary School

Proposed Use of Property Elementary School

Briefly Explain the Project This project is to install 2 24' x 68' modular classroom buildings on the east side of the gym building. The project will consist of some minor site work, electrical, and domestic water and sewer connections. It is anticipated that there will be some staff additions and relocation of existing staff. The number of staff additions are not known at this time.

PROPOSED BUILDING(S) FOOTPRINT SIZE (in square feet) 1,632 square feet each building, 3,264 square feet total

PARKING INFORMATION

Total Number of Spaces Proposed none

Square Footage of Parking Lot Landscaping Proposed none

LANDSCAPING INFORMATION

Total Square Footage Landscaping Proposed none Percent of Landscaping Irrigated none

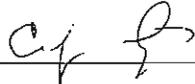
ECONOMIC DEVELOPMENT INFORMATION

Proposed Project is located in the Enterprise Zone

58.16 Full Time Equivalent (FTE) jobs are currently provided.

4.00 FTE jobs are expected to be created by the proposed project.

Signature of Applicant

 1/23/17
Date

Signature of Property Owner* or Owners Agent

 1/23/17
Date

* Notarized Owner Consent Letter may substitute for signature of property Owner

NOTE: This application must be accompanied by the information required in Section 3.050: Conditional Use Permits, contained in Ordinance No. 98-1222, The City of The Dalles Land Use and Development Ordinance.

PLANS REQUIRED:

At least 12 copies of concept site plan.

At least one 11 x 17 concept site plan.

2 copies detailed landscape plans

2 full size copies construction detail plans

PROPOSED CHENOWITH ELEMENTARY MODULAR ADDITIONS FOR NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21 TAX LOT 2N-13E-29C 400 FEBRUARY 2014

INDEX:

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS
- SHEET 3 SITE PLAN
- SHEET 4 GRADING & UTILITIES
- SHEET 5 SIDEWALK CHENOWETH LOOP RD.
- SHEET 6 GENERAL NOTES
- SHEET 7 CIVIL DETAILS
- SHEET 8 COVERED WALKWAY DETAILS



THE DALLES VICINITY MAP
SCALE: 1" = 1000'

UTILITIES:

POWER:

NORTHERN WASCO CO. P.U.D.
2345 RIVER ROAD,
THE DALLES, OR. 97056
PH. (541) 296-2226
CONTACT: ED ORTEGA

TELEPHONE:

CENTURY LINK
289 WEBBER STREET,
THE DALLES, OR. 97058
PH. (541) 298-3449
CONTACT: GAVE JOHNSON

FIRE PROTECTION:

MID-COLUMBIA FIRE AND RESCUE
1400 WEST 8TH STREET
THE DALLES, OREGON 97058
PH. (541) 296-9445
CONTACT: OAN HAMMEL, FIRE MARSHAL

GAS:

NW NATURAL
1125 BARGUEWAY ROAD
THE DALLES, OR. 97058
PH. (541) 296-2229
CONTACT: TONYA BRUMLEY

WATER:

CHENOWITH WATER P.U.D.
2312 W. 8TH STREET
THE DALLES, OR. 97058
PH. (541) 296-3383
CONTACT: JEB MILLER,
DISTRICT MANAGER

OWNER:

NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21
2000 W. 2ND STREET
THE DALLES
PH. (541) 506-3430
CONTACT: DENNIS WHITEHOUSE,
OPERATIONS DIRECTOR

TELEVISION:

CHARTER COMMUNICATIONS, INC.
409 UNION STREET
THE DALLES, OR. 97058
PH. (541) 296-1146
CONTACT: DAN WALLACE

BUILDING OFFICIAL:

MCCO BUILDING CODES AGENCY
1113 KELLY AVENUE
THE DALLES, OREGON 97058
PH. (541) 298-4481
CONTACT: ROBERT FUTTER,
BUILDING OFFICIAL

STREETS:

WASCO COUNTY, PUBLIC WORKS
2704 E. 2ND STREET
THE DALLES, OR. 97058
PH. (541) 606-2846
CONTACT: MARTY MATHERLY,
ROADMASTER

PLANNING JURISDICTION:

CITY OF THE DALLES
COMMUNITY DEVELOPMENT/ PLANNING
313 COURT ST.
THE DALLES, OREGON 97058
PH. (541) 296-5481
CONTACT: DAWN HERT, PLANNER

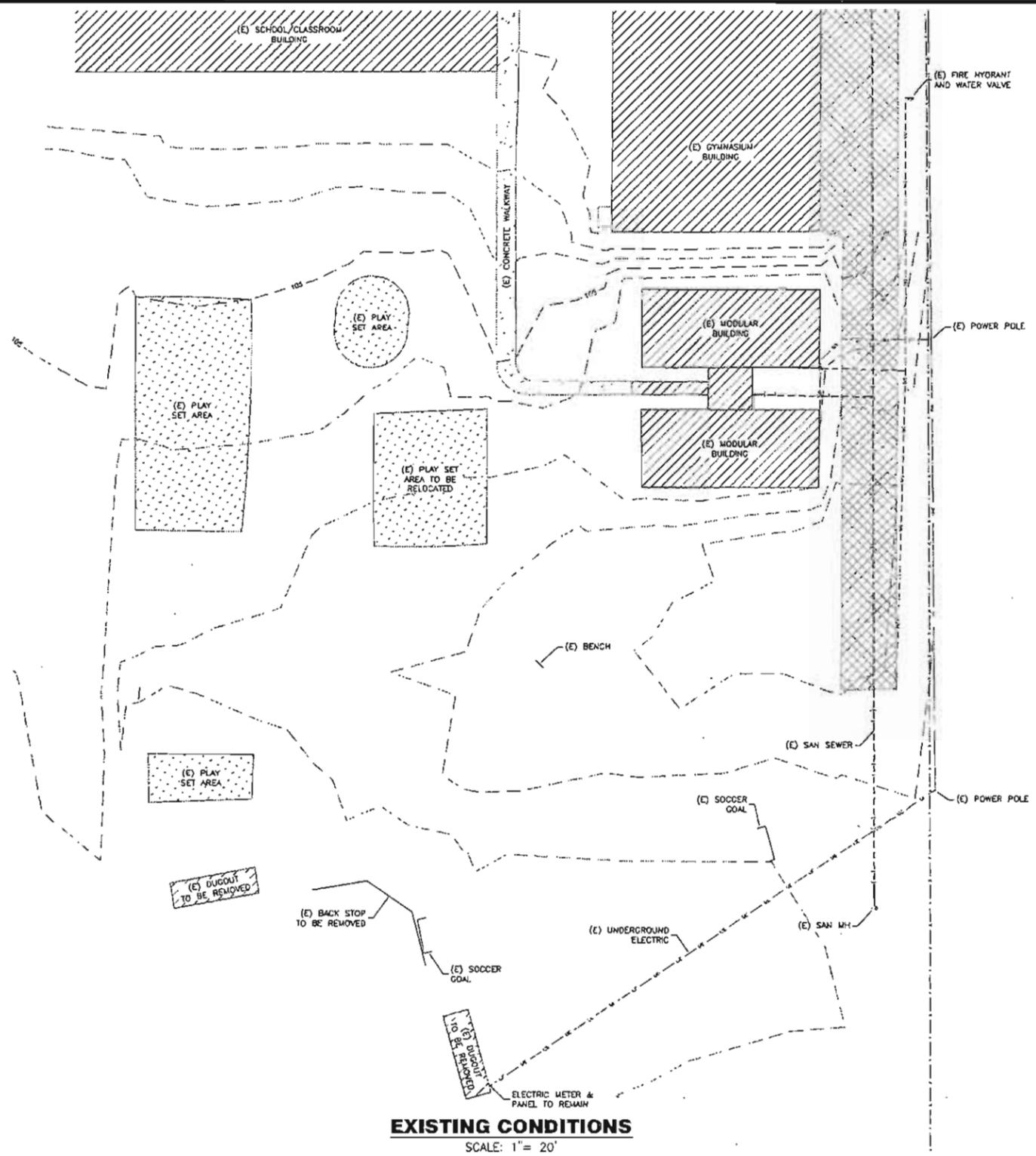
SANITARY SEWER:

CITY OF THE DALLES,
PUBLIC WORKS DEPT.
1216 W. 1ST STREET
THE DALLES, OR. 97058
PH. (541) 506-2021
CONTACT: DALE McCABE, CITY ENGINEER

ENGINEER:

TENNESON ENGINEERING CORP.
3775 CRATES WAY
THE DALLES, OR. 97058
PH. (541) 296-9177
FAX (541) 296-8657
BEN BESEDA (PROJECT MANAGER)
RILEY SKOVY (PROJECT ENGINEER)

COVER SHEET	Design: E.B.B. Date: 2/7/2014 Work Order No. 14267	Survey: I.E.C. Date: 2/7/2014 Scale: AS NOTED	FOR NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21 MODULAR ADDITIONS TAX LOT 2N-13E-29C 400 THE DALLES, WASCOCO COUNTY, OREGON
CONSULTING ENGINEERS 3775 CRATES WAY THE DALLES, OREGON 97058 PH. 541-296-9177 FAX 541-296-8657			
PRELIMINARY ONLY			
COVER			
SHEET 1 8			
Work Order No. 14267			



EXISTING CONDITIONS
 SCALE: 1" = 20'



LEGEND :

- MANHOLE
 - (---) --- (E) SAN SEWER
 - SAN --- SAN PROPOSED SAN SEWER
 - (E) STORM SEWER
 - 60 --- PROPOSED STORM SEWER
 - CATCH BASIN
 - CLEAN OUT
 - (E) WATER LINE
 - W --- W PROPOSED WATER LINE
 - ⊕ FIRE HYDRANT
 - ⊙ WATER VALVE
 - BLOW-OFF VALVE
 - WM = WATER METER
 - OB --- OS GRADE BREAK
 - C --- C --- CATCH LINE
 - D --- D --- DITCH LINE
 - OE --- UE OVERHEAD ELECTRIC POWER LINE
 - UE --- UE --- UE UNDERGROUND ELECTRIC POWER LINE
 - ⊕ (E) POWER POLE
 - (E) FENCE LINE
 - TELEPHONE PEDESTAL □ POWER TRANSFORMER
 - ⊕ GAS METER ⊕ EM = ELECTRIC METER
 - (E) CONTOUR LINE
 - 100 --- (E) INDEX CONTOUR LINE
 - 100 --- PROPOSED F.G. INDEX CONTOUR LINE
 - PROPOSED F.G. CONTOUR LINE
- NOTE : ALL OTHERS AS NOTED ON PLAN

HATCH LEGEND :

- ▨ PROPOSED LANDSCAPING
- ▨ EXISTING CONCRETE
- ▨ EXISTING GRAVEL
- ▨ EXISTING ASPHALT
- ▨ EXISTING BUILDING
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED GRAVEL
- ▨ PROPOSED ASPHALT

Design	B.B.B.	Survey	T.E.C.
Drawn		Scale	AS NOTED
Date	2/7/2014	Work Order No.	14267
Proj. No.	14267	Proj. Name	AS NOTED

EXISTING CONDITIONS
 FOR
 NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21
 MODULAR ADDITIONS
 TAX LOT 2N-13E-29C-400
 THE DALLES, WASCO COUNTY, OREGON

TEMESON ENGINEERING CORP.
 CONSULTING ENGINEERS
 3775 GRATES WAY
 THE DALLES, OREGON 97058
 PH. 541-296-9177 FAX 541-296-6657

PRELIMINARY ONLY

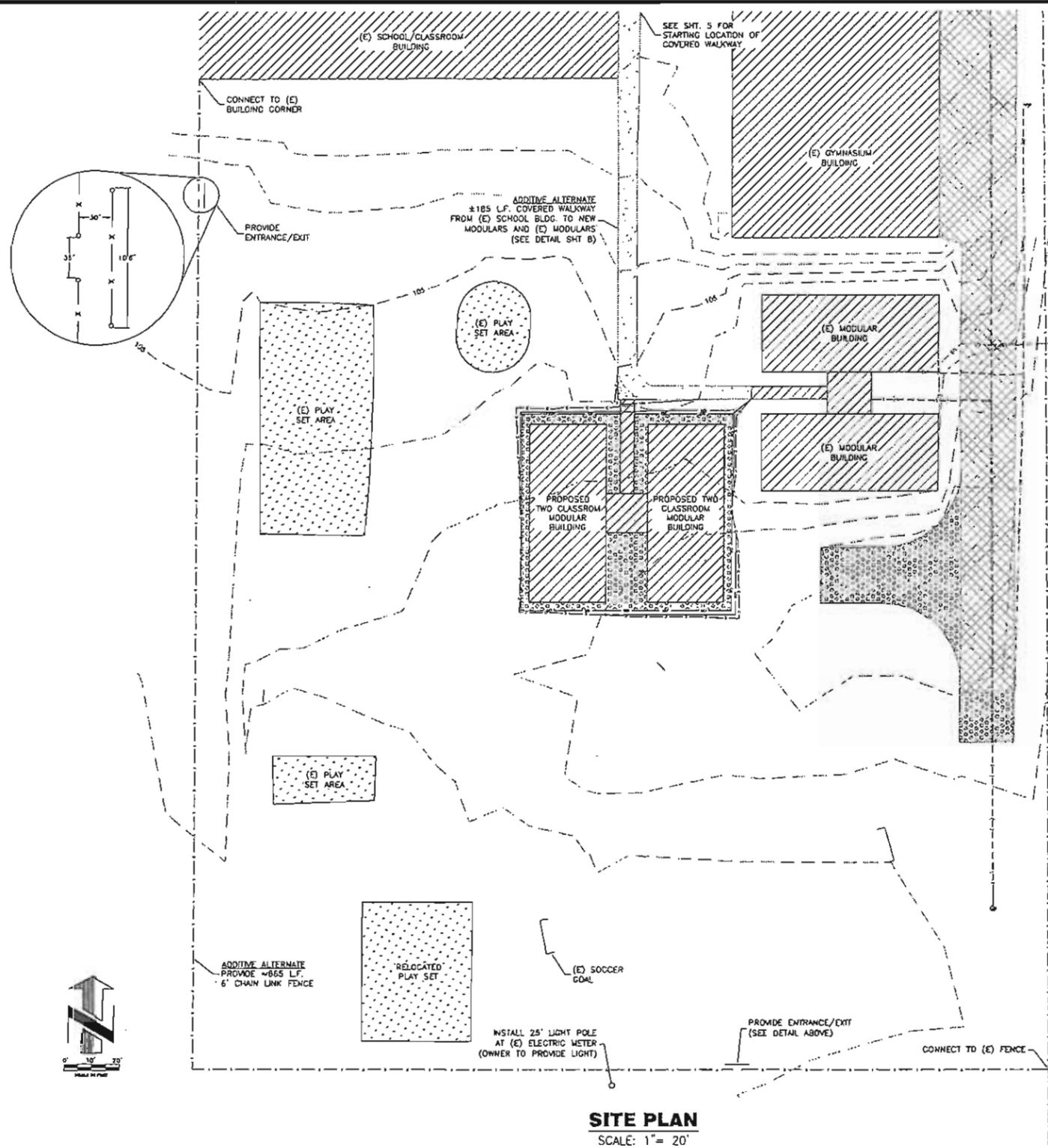
IF THIS SHEET IS USED FOR ANY OTHER PROJECT, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DATA AND INFORMATION SHOWN HEREON.



EXISTING

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2 8

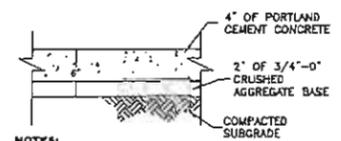
Work Order No.
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LAND INFO:

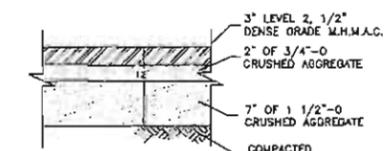
TAX LOT 2N-13E-29C 400

ZONING:	RL (RESIDENTIAL LOW DENSITY) WITH CFO (COMMUNITY CITY OVERLAY)
SIZE:	EXISTING 30.64 ACRES (1,334,678 S.F.) PROPOSED 30.64 ACRES (1,334,678 S.F.)
BUILDING:	EXISTING 28 CLASSROOMS (68,676 S.F.) PROPOSED 4 CLASSROOMS (3,920 S.F.)
PAVEMENT:	EXISTING (53,800 S.F.) PROPOSED NONE
PARKING SPACES:	EXISTING 72 REQUIRED 48 (1.5 SPACES/CLASSROOM)
LANDSCAPING:	PROPOSED NONE REQUIRED NONE (NO PARKING LOT IMPROVEMENTS)



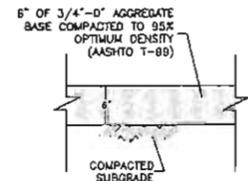
- NOTES:**
- AGGREGATE TO BE COMPACTED TO 95% OF OPTIMUM DENSITY (ASTM D-698)
 - CONTRACTOR TO VERIFY SECTION WITH STRUCTURAL ENGINEER/ARCHITECT

CONCRETE SIDEWALK SECTION

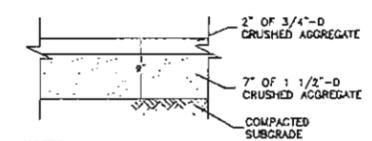


- NOTES:**
- ASPHALT TO BE COMPACTED TO 91% OF RICE DENSITY.
 - AGGREGATE TO BE COMPACTED TO 95% OF OPTIMUM DENSITY (ASTM D-698)

ASPHALT SECTION



BUILDING PAD GRAVEL SECTION



- NOTES:**
- AGGREGATE TO BE COMPACTED TO 95% OF OPTIMUM DENSITY (ASTM D-698)

VEHICLE TURN-AROUND GRAVEL SECTION

NOTE: SEE SHEET 2 FOR LEGEND

Design	B.B.B.	Survey	I.E.C.
DWG. No.	KVAJCSN\14200\14267\OSITE_14267	Date	2/7/2014
Drawn	R.S.S.	Scale	AS NOTED
Work Order No.	14267		

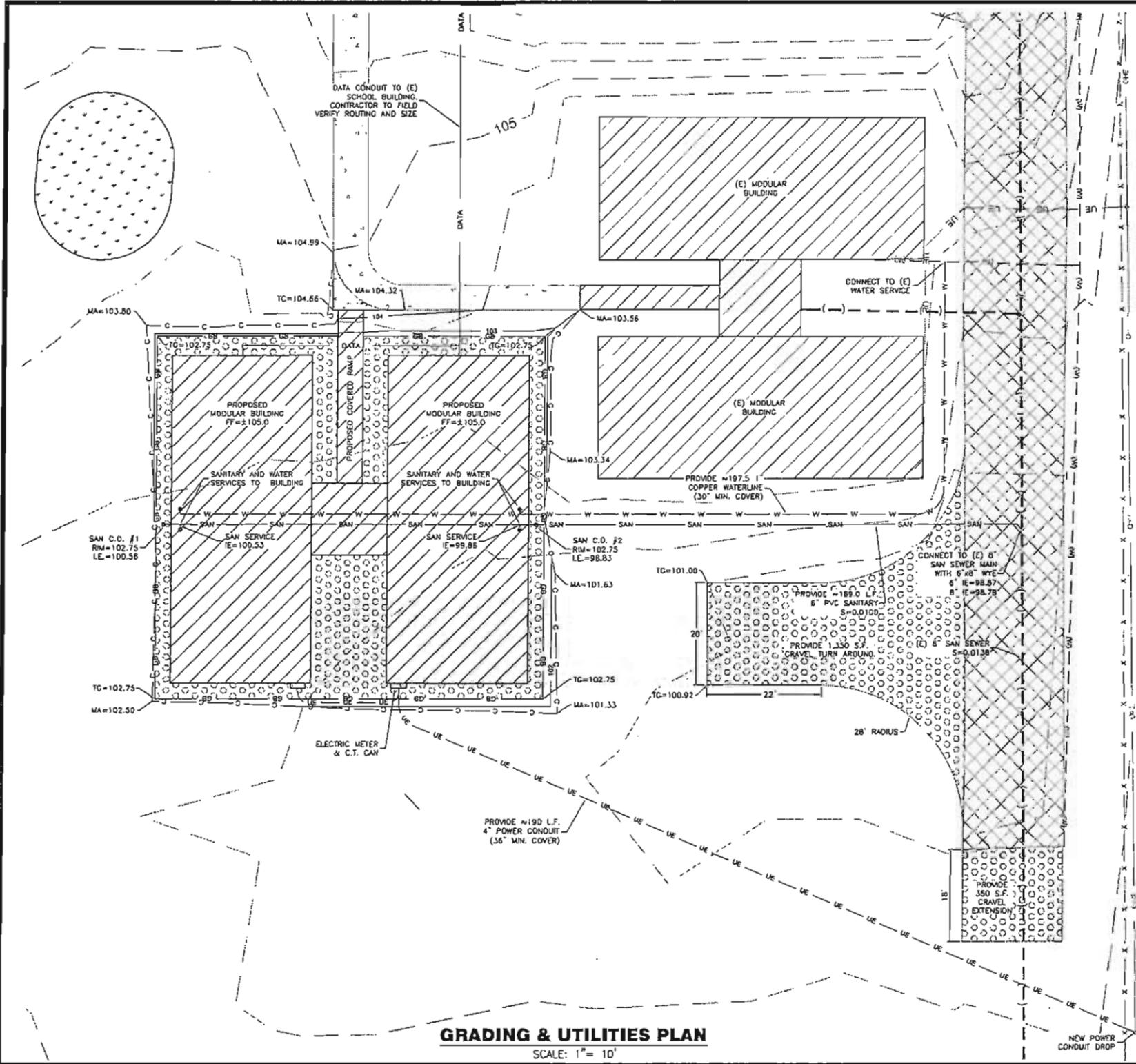
SITE PLAN
FOR
NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21
MODULAR ADDITIONS
TAX LOT 2N-13E-29C 400
THE DALLES, WASCO COUNTY, OREGON
Proj. Date:

TENNISON ENGINEERING CORP.
CONSULTING ENGINEERS
3775 CRATES WAY
THE DALLES, OREGON 97058
PH. 541-296-9177 FAX 541-296-6657

PRELIMINARY ONLY

REGISTERED PROFESSIONAL ENGINEER
STATE OF OREGON
NO. 12345
EXPIRES 12/31/15

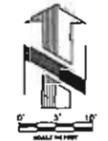
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Work Order No.
14267



GRADING & UTILITIES PLAN
SCALE: 1" = 10'

GENERAL NOTES:

- CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 599 OF OREGON LAWS 1987, AND AS ADDED TO ORS CHAPTER 757, REGARDING UNDERGROUND UTILITIES. NO EXCAVATION SHALL BE PERFORMED WITHOUT PROPER NOTIFICATION OF UTILITIES.
- DEVELOPED AREAS SHALL BE PROPERLY PREPARED INCLUDING ANY SURFACE SOIL LOOSENED AS A RESULT OF CLEARING AND GRUBBING SHALL BE REMOVED OR RECOMPACTED.
- FILLS SHALL BE PLACED IN DRY WEATHER WITH PROPER CONTROLS ON MOISTURE AND COMPACTION. FILLS SHALL BE PLACED IN THIN LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) WITHIN THE GRAVEL/BUILDING SECTION. ALL FILLS OUTSIDE THESE LIMITS SHALL BE COMPACTED TO 90 PERCENT OF THE MAXIMUM DRY DENSITY. THE THICKNESS OF THE LIFTS WILL NEED TO BE DETERMINED IN THE FIELD, AS A GENERAL RULE FOR SELF PROPELLED COMPACTORS, THE LIFTS SHALL NOT EXCEED 8 INCHES AS MEASURED IN A LOOSE CONDITION. FOR SMALL HAND COMPACTORS, THE LIFTS SHALL BE REDUCED TO 4-5 INCHES LOOSE MATERIAL.
- CONTRACTOR SHALL BE LICENSED WITH THE CONSTRUCTION CONTRACTOR BOARD AS REQUIRED BY ORS 371.350.
- CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO STREET CUT, SIDEWALK/DRIVEWAY APPROACH PERMITS, PHYSICAL CONSTRAINTS, CITY RIGHT OF WAY CONSTRUCTION PERMITS, AND WASCOS COUNTY UTILITY PERMITS PRIOR TO START OF WORK.
- OWNER TO ARRANGE A PRE-CONSTRUCTION MEETING PRIOR TO START OF WORK WITH THE CONTRACTOR, ENGINEER, CITY ENGINEER AND COUNTY ROADMASTER.
- CONTRACTOR TO PROTECT EXISTING ASPHALT ROADWAY ON PROJECT FRONTAGE. ANY DAMAGED ASPHALT TO BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
- GRADE LANDSCAPING AREAS TO BE 4" BELOW BUILDING SIDING AND 1" BELOW TOP OF SIDEWALK.
- CURB GRADES ARE TO BE STRAIGHT LINE BETWEEN ELEVATIONS PROVIDED. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO GRADES TO AVOID SHARP BREAKS WHILE MAINTAINING PROPER DRAINAGE.
- CONTRACTOR TO NOTIFY DESIGN ENGINEER, CITY ENGINEER AND WASCOS COUNTY ROAD DEPT. PRIOR TO PLACEMENT OF CURBS TO ALLOW INSPECTION OF FORMS FOR VERIFICATION OF GRADE AND DRAINAGE.



NOTES:

- TC = TOP OF CONCRETE
- TP = TOP OF PAVEMENT
- TG = TOP OF GRAVEL
- MA = MATCH
- FF = FINISH FLOOR
- FG = FINISH GRADE
- FINISH GRADE CONTOURS ARE SHOWN AT 1.0 FOOT INTERVALS.

EARTHWORK VOLUMES:

CUT: 47 CY
 FILL: 62 CY
 NET: 15 CY (BORROW)

*VOLUMES CALCULATED TO FINISH GRADE AND DO NOT INCLUDE EXCAVATION FOR UTILITY TRENCHING, FOOTINGS, BASE ROCK, PAVING, ETC.

Design	B.B.B.	Survey	I.E.C.
Drawn	2/7/2014	Scale	AS NOTED
Work Order No.	14267		

GRADING & UTILITIES
 FOR
 NORTH WASCOS COUNTY SCHOOL DISTRICT NO. 21
 MODULAR ADDITIONS
 TAX LOT 2N-13E-29C 400
 THE DALLES, WASCOS COUNTY, OREGON
 P&S DATE

TENNESON ENGINEERING CORP.
 CONSULTING ENGINEERS
 3775 CRATES WAY
 THE DALLES, OREGON 97058
 PH. 541-298-9177 FAX 541-298-6657

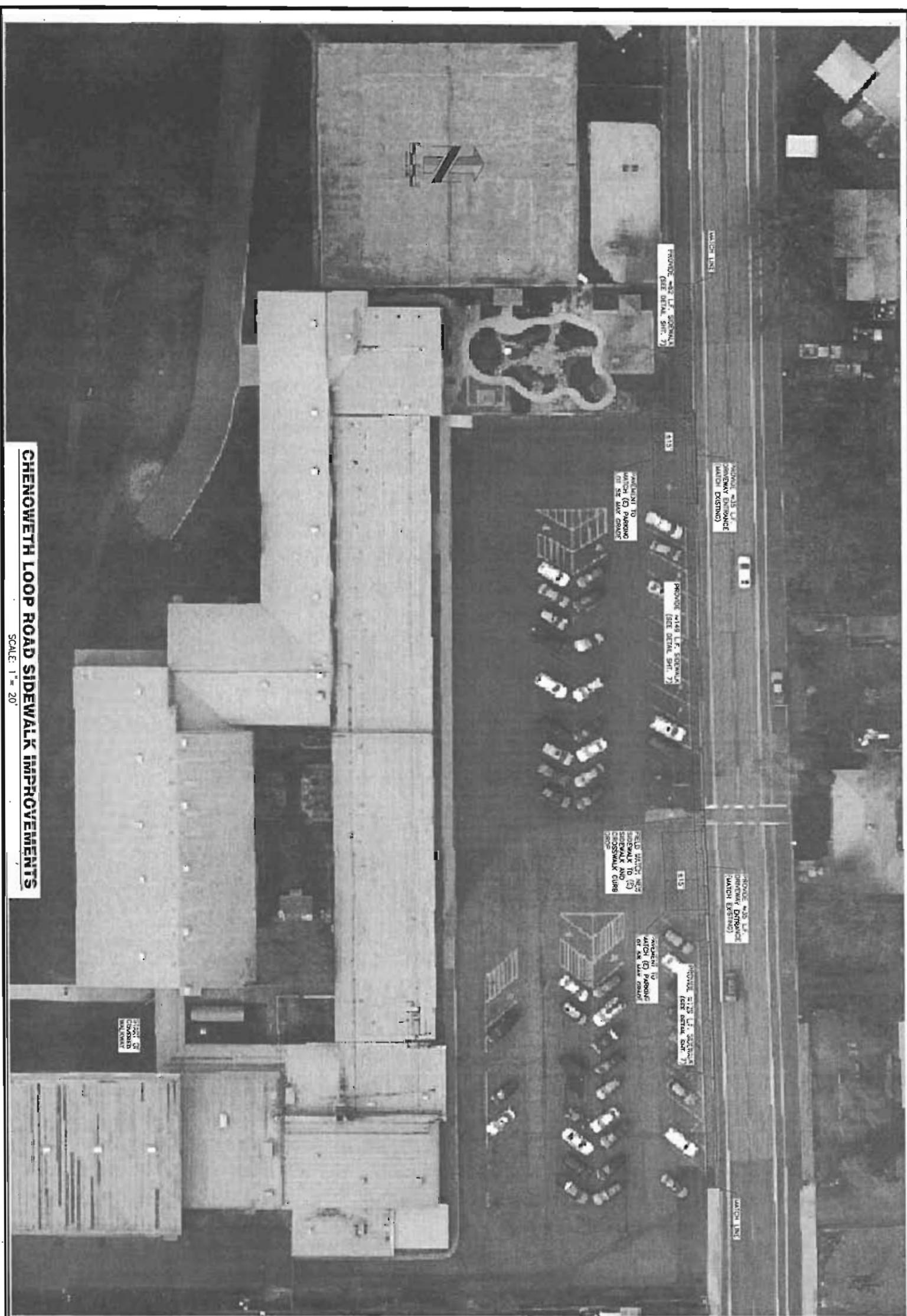
PRELIMINARY ONLY



GRADE-UTILITY

SHEET
4 8

Work Order No.
 14267



CHENOWETH LOOP ROAD SIDEWALK IMPROVEMENTS

SCALE: 1" = 20'

	<p>TENNESON ENGINEERING CORP. CONSULTING ENGINEERS 3775 CRATES WAY THE DALLES, OREGON 97058 PH. 541-296-9177 FAX 541-296-6657</p>	SIDEWALK CHENOWETH LOOP RD.		Design	B.B.B.	Survey	T.E.C.
		FOR NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21		DWG. No.	K:\ACAD\14200\14267\05\IE_14267		
		MODULAR ADDITIONS		Date	2/7/2014		
		TAX LOT 2N-13E-29C 400 THE DALLES, WASCO COUNTY, OREGON Plot Date:		Work Order No.	14267		
PRELIMINARY ONLY		Scale		AS NOTED			

SIDEWALK
SHEET
5
8
Work Order No.
14267

GENERAL NOTES:

- A) CONTRACTOR SHALL FURNISH AND CONTROL ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY. OWNER TO PAY ALL PROJECT PERMIT COSTS. CONTRACTOR SHALL PROVIDE OWNER 48 HOURS NOTICE PRIOR TO REQUESTING PERMIT FOR PERMITS.
- B) CONTRACTOR TO PAY ALL PROJECT UTILITY TAPPING, TV, AND DEMONSTRATION COSTS. COST FOR RETESTING SHALL BE BORNE BY THE CONTRACTOR. CONTRACTOR SHALL ERODIMENT AND PAY ALL COSTS ASSOCIATED WITH CONNECTING TO EXISTING WATER, SANITARY SEWER AND STORM SEWER FACILITIES.
- C) CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
- D) ALL MATERIALS AND WORKMANSHIP FOR FACILITIES IN STREET RIGHT-OF-WAY OR EASEMENTS SHALL CONFORM TO APPLICABLE AGENCY CONSTRUCTION SPECIFICATIONS WHEREAS EACH HAS JURISDICTION, INCLUDING BUT NOT LIMITED TO THE CITY, WASH CO COUNTY, OREGON HEALTH DIVISION (OHD), OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), WASHINGTON DEPARTMENT OF HEALTH (DOH) AND THE WASHINGTON DEPARTMENT OF ECOLOGY (DOE).
- E) UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DIVISION, CONSTRUCTION OF ALL PUBLIC FACILITIES SHALL BE DONE BETWEEN 7:00 AM AND 6:00 PM, MONDAY THROUGH FRIDAY.
- F) THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPLICABLE CONSTRUCTION DRAWINGS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROMISE A COMPLETED PROJECT.
- G) THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 48 BUSINESS HOURS (2 BUSINESS DAYS) PRIOR TO START OF CONSTRUCTION AND COMPLY WITH ALL OTHER REQUIREMENTS OF ORS 757.241 TO 757.271 AND RCW 19.122.
- H) ANY INTERSECTION BY THE CITY OR OTHER AGENCIES SHALL NOT, IN ANY MANNER, RELIEVE THE CONTRACTOR FROM THE OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE CODES AND AGENCY REQUIREMENTS.
- I) CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, TRAFFIC CONES PER CITY REQUIREMENTS IN ACCORDANCE WITH THE UNITED (INCLUDING OREGON AND/OR WASHINGTON REQUIREMENTS), ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- J) CONTRACTOR SHALL BE LICENSED WITH THE CONSTRUCTION CONTRACTOR BOARD.
- K) ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

EXISTING UTILITIES & FACILITIES:

- A) THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREIN HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY ENGINEER. FAILURE TO CONFORM TO THIS REQUIREMENT MAY RESULT IN DELAY OF PAYMENT AND/OR FINAL ACCEPTANCE OF THE PROJECT.
- B) UPON COMPLETION OF CONSTRUCTION OF ALL NEW FACILITIES, CONTRACTOR SHALL SUBMIT A CLEAN SET OF FIELD RECORD DRAWINGS CONTAINING ALL AS-BUILT DRAWINGS TO THE OWNER FOR USE IN THE PREPARATION OF AS-BUILT DRAWINGS FOR SUBMITTAL TO THE CITY AND OWNER. ALL INFORMATION SHOWN ON THE CONTRACTOR'S FIELD RECORD DRAWINGS SHALL BE SUBJECT TO VERIFICATION BY THE ENGINEER, IF NECESSARY, OR OTHERWISE AS NOTED BY THE ENGINEER. AN AS-BUILT SURVEY PREPARED AND STAMPED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AND/OR QUALIFIED ENGINEER SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
- C) THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWING, ARE COPIED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE OWNER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- D) THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- E) CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES WHOSE NEW FACILITIES CROSS. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL UTILITY CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATIONS WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE PROTECTED AS NECESSARY PRIOR TO EXCAVATING OR BEFORE CONSTRUCTION TO MAINTAIN EXISTING GRADE OR ALTERNATE CONTACTS.
- F) ALL FACILITIES SHALL BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN, OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY ENGINEER.
- G) UTILITIES OR INTERFERING PORTIONS OF UTILITIES THAT ARE ABANDONED IN PLACE SHALL BE RECORDED BY THE CONTRACTOR TO ACCORDANCE WITH THE CITY SPECIFICATIONS. THE CONTRACTOR SHALL FLAG THE REMAINING EXPOSED PORTIONS OF ABANDONED UTILITIES IN A METHOD APPROVED BY THE CITY.
- H) CONTRACTOR SHALL REMOVE ALL EXISTING SIGNS, MAILBOXES (POSTAL SERVICE NOTIFICATION REQUIRED), POWER LAMPPOSTS, ETC., AS REQUIRED TO AVOID DAMAGE DURING CONSTRUCTION AND REPLACE THEM TO EXISTING OR BETTER CONDITION.
- I) ANY SEPTIC TANKS ENCOUNTERED DURING CONSTRUCTION SHALL BE PLUMBED OUT. CONTRACTOR SHALL BREAK BOTTOM OF TANK AND BACKFILL WITH PER GRADE UNLESS OTHERWISE REQUIRED BY PUBLIC AGENCIES HAVING JURISDICTION. SEPTIC TANK REMOVAL TO BE IN ACCORDANCE WITH SANITARIAN REQUIREMENTS.
- J) ANY WELLS ENCOUNTERED SHALL BE ABANDONED PER STATE REQUIREMENTS.
- K) ANY FILL BANKS ENCOUNTERED SHALL BE REMOVED AND DEPOSITED ON PER STATE REQUIREMENTS. BACKFILL WITH COMPACTED GRANULAR MATERIAL.
- L) CONTRACTOR SHALL COORDINATE AND PAY ALL COSTS ASSOCIATED WITH REMOVING OR ABANDONING ANY SEPTIC TANKS, WELLS (INCLUDING BOREHOLE MEASUREMENTS) AND FUEL TANKS ENCOUNTERED AS PER REGULATING AGENCY REQUIREMENTS. WHEN SHOWN ON THE DRAWINGS, THESE STRUCTURES SHALL BE REMOVED OR ABANDONED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY UPON RECEIPT OF ANY TESTS, TANKS, WELLS OR FUEL TANKS NOT SHOWN ON THE DRAWINGS, AND OBTAIN CONFORMANCE FROM THE OWNER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER WITH A DETAILED COST BREAKDOWN OF ALL WORK RELATED TO REMOVING ABANDONING SAID STRUCTURES. THE CONTRACTOR IS RESPONSIBLE ON A TIME & MATERIALS BASIS ON AT A NEGOTIATED PRICE AS AGREED TO BY THE OWNER.
- M) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAR OF MUD, DIRT OR DEBRIS. DUST ABatement SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.

CURBS & SIDEWALKS:

- A) UNLESS OTHERWISE SHOWN OR SPECIFIED ON THE DRAWINGS, 8-INCHES HOUSING CURB EXPOSURE USED FOR DESIGN OF ALL PARKING LOTS AND STREET CROSSLINGS.
- B) CONTRACTOR SHALL CONSTRUCT HANDICAP ACCESS RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- C) SIDEWALKS TO BE INSTALLED AS INDIVIDUAL LOTS ARE DEVELOPED.
- D) SIDEWALKS SHALL BE A MINIMUM OF 4-INCHES THICK AND SECONDARY DRIVEWAYS SHALL BE A MINIMUM OF 8-INCHES THICK. CONCRETE, USE DIMENSIONAL AND ADJUST APPROACHES SHALL BE CONSTRUCTED USING 3,500 PSI CONCRETE WITH TYPE 1 OR TYPE 10 CLEAR CURBING GRANULAR. (PCR NO 720)
- E) WHEN TRENCH EXCAVATION REQUIRES REMOVAL OF POC CURBS AND/OR SIDEWALKS, THE CURBS AND/OR SIDEWALKS SHALL BE REPAIRED AND REMOVED AT A TIME AND MATERIALS BASIS AS AUTHORIZED IN WRITING BY THE CITY. THE SURVEY LINES SHOWN ON DRAWINGS ARE SCHEMATIC AND NOT INTENDED TO SHOW THE EXACT ALIGNMENT OF SUCH CURBS.

GRADING, PAVING & DRAINAGE:

- A) UNLESS OTHERWISE NOTED, ALL GRADING, ROADS AND PAVING TO CONFORM TO ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY, CURRENT EDITION.
- B) CLEAR AND GRUB WITHIN WORK LIMITS ALL SURFACE VEGETATION, TREES, BRUSH, BRUSH, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER PRIOR TO THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
- C) STRIP WORK LIMITS, INCLUDING ALL ORGANIC MATTER, WHICH CANNOT BE CONTRACTED INTO A STABLE MASS. ALL TREES, BRUSH AND BEAMS ASSOCIATED WITH CLEARING, STRIPPED OR GRADING SHALL BE REMOVED AND DEPOSITED OFF-SITE.
- D) IMMEDIATELY FOLLOWING STRIPPING OPERATIONS, CONTACT SUBGRADE TO BE WITHIN FINED AREAS (SOIL IN OTHER AREAS) OF THE MAXIMUM DRY DENSITY PER ASTM D-698 TEST METHOD (STANDARD PROCTOR). SUBGRADE MUST BE INSPECTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PLACING SUBGRADE. ENHANCED FILLS ON THE GRADING FOR BASE ROCK. CITY TO INSPECT WORK PERFORMED WITHIN R.O.W.
- E) ALL FILLS SHALL BE ENGINEERED EXCEPT FOR FILLS LESS THAN 18-INCHES IN DEPTH WHICH ARE LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY, BACKLASH PADS, PARKING LOTS OR OTHER AREAS TO BE IMPROVED. ENHANCED FILLS SHALL BE CONSTRUCTED IN 6" LIFTS OVER APPROVED SUBGRADE. EACH LIFT SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-698 TEST METHOD (STANDARD PROCTOR) FOR ALL OTHER AREAS.
- F) CRUSHED ROCK SHALL CONFORM TO SECTION 020411 (AGGREGATE SUBGRADE, BASE AND SHOULDER) ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-698 TEST METHOD (STANDARD PROCTOR). WRITERS CONTRACT TEST RESULTS FROM AN INDEPENDENT TESTING LABORATORY BE RECEIVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PLACING A.C. PAVEMENT.
- G) A.C. PAVEMENT SHALL CONFORM TO SECTION 020744 (HOT MIXED ASPHALT CONCRETE PAVEMENT FINISH) ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY. PAVEMENT SHALL BE COMPACTED TO MINIMUM OF 91% OF MAXIMUM DENSITY AS DETERMINED BY THE AASHTO METHOD.
- H) UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STAIRWAY GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES SHOWN.
- I) FINISH PAVEMENT GRADES AT TRANSITION IN DRIVEWAY PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR BE FINISHED WITH FINISH GRADES WITH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINING SURFACE.
- J) ALL EXISTING OR CONSTRUCTED MANHOLES, CLEANOUTS, INDUMENTS, GAS VALVES, WATER VALVES AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADES OF THE FINISHED, TERRAZZO, LANDSCAPED AREA ON WHICH THEY STAND. THEY MUST BE ADJUSTED THAT ALL VALVE BOXES AND RISERS ARE CLEAN AND COVERED OVER THE OPERATION. ADJUSTMENT AFTER PLACEMENT OF FINAL FINISHING COURSE WILL NOT BE ALLOWED.
- K) UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V.
- L) CONTRACTOR SHALL SEED AND MULCH ALL EXPOSED SLOPES AND DISTURBED AREA, WHICH ARE NOT SCHEDULED TO BE LANDSCAPED.

TESTING AND INSPECTION:

- A) THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED OR NECESSARY INSPECTIONS ARE COMPLETED BY THE OWNER'S AUTHORIZED INSPECTORS PRIOR TO PROCEEDING WITH SUBSEQUENT WORK WHICH COULD BE THAT IS DEPENDENT ON THE WORK TO BE INSPECTED. FAILURE TO OBTAIN NECESSARY INSPECTIONS AND APPROVALS WILL BE THE CONTRACTOR'S RESPONSIBILITY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROBLEMS ARISING FROM UNINSPECTED WORK.
- B) UNLESS OTHERWISE SPECIFIED, THE FOLLOWING TABLE OUTLINES THE MINIMUM TESTING SCHEDULE FOR THE PROJECT. THIS TESTING SCHEDULE IS NOT EXHAUSTIVE, AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF OBTAINING ALL NECESSARY INSPECTIONS FOR ALL WORK PERFORMED, REGARDLESS OF WHO IS RESPONSIBLE FOR PAYMENT.

REQUIRED TESTING AND FREQUENCY		Party Responsible (per contract)	Contractor	Owner
STREETS, PARKING LOTS, PADS, FILLS, ETC.				
SUBGRADE	1 TEST/4000 S.F./LIFT (2 MIN)	✓	See note 2	See note 3
BASE/ROCK	1 TEST/4000 S.F./LIFT	✓	See note 2	See note 3
ASPHALT	1 TEST/4000 S.F./LIFT (2 MIN)	✓	See note 2	See note 3
PIPED UTILITIES, ALL				
TRENCH BACKFILL	1 TEST/200 FOOT TRENCH/LIFT (2 MIN)	✓	See note 2	
WATER				
PRESSURE	TO BE WITHHELD BY ENGINEER OR APPROVING AGENCY	✓		
INTERNAL WATER TEST	PER OHS/DOH	✓	See note 2	
CHLORINE RESIDUAL TEST	PER CITY REQUIREMENTS	✓		
SANITARY SEWER				
AM NOT	PER CITY OR ODOT/APWA WHEREVER IS MORE STRINGENT	✓	See note 4	
MANHOLE	USE OF ACTUAL INSIDE DIMENSIONS	✓		
TV INSPECTION	LINES MUST BE CLEANED PRIOR TO TV WORK	✓		
MANHOLE	WATERTIGHT TEST EACH MANHOLE WITHHELD BY ENGINEER OR APPROVING AGENCY.	✓	See note 2 & note 4	
STORM				
MANHOLE	USE OF ACTUAL INSIDE DIMENSIONS	✓		
TV INSPECTION	LINES MUST BE CLEANED PRIOR TO TV WORK	✓		

NOTE 1: OTHERS REFER TO OWNER, ENGINEER OR APPROVING AGENCY AS APPLICABLE. CONTRACTOR RESPONSIBLE FOR SCHEDULING TESTING. ALL TESTING MUST BE COMPLETED PRIOR TO PERFORMING SUBSEQUENT WORK.

NOTE 2: TESTING MUST BE PERFORMED BY AN APPROVED INDEPENDENT TESTING AGENCY.

NOTE 3: IN ADDITION TO IN PLACE QUALITY TESTING, THE SUBGRADE AND BASE/ROCK SHALL BE PROOF-ROLLED WITH A LOADS TO TWO DEEP TRACK PROVIDED BY THE CONTRACTOR. LOCATION AND PATTERN OF PROOF-ROLL TO BE AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

NOTE 4: CONTRACTOR MAY USE INSTRUMENTAL TESTING IN LIEU OF UNLOAD AND ARE TESTING.

PIPED UTILITIES:

- A) ALL TAPPING OF EXISTING MUNICIPAL SANITARY SEWER, STORM DRAIN MAINS, AND MANHOLES MUST BE DONE BY CONTRACTOR FORCES.
- B) UNDER FUTURE STREETS OR SIDEWALKS, USE CLASS "B" (1 1/4" UNITS AGGREGATE) BACKFILL FROM 6" BELOW PIPE TO SUBGRADE. DEPTH OF COVER IS BETWEEN 2 AND 3 FEET AND WELL-GRADED CLASS A (NATIVE MATERIAL - ONLY ALLOWED WITHIN PUBLIC R.O.W. IF APPROVED BY THE CITY) BELOW. EXCEEDING 6 INCHES IN GREATEST QUANTITY, WHICH ORIGINATE FROM THE TRENCH, WILL BE PERMITTED IN THE BACKFILL FROM 1 FOOT ABOVE THE TOP OF ANY PIPE TO 1 FOOT BELOW SUBGRADE. WHEN THE TRENCH IS DEEPER THAN 3 FEET, ROCKS NOT EXCEEDING 6 INCHES IN GREATEST QUANTITY ORIGINATE FROM THE TRENCH, WILL BE PERMITTED IN THE BACKFILL FROM 1 FOOT ABOVE THE TOP OF ANY PIPE OR BOX TO 2 FEET BELOW THE FINISHED SURFACE. ROCKS GREATER THAN 2 1/2 INCHES IN ANY DIMENSION WILL NOT BE PERMITTED IN BACKFILL PLACED WITHIN 1 FOOT OF SUBGRADE. WHERE THE USE ARE INCLUDED IN THE BACKFILL, THEY SHALL BE MIXED WITH SUITABLE EXCAVATED MATERIALS SO AS TO ELIMINATE VOID SUBJECT TO THE PROVISIONS SET FORTH HEREIN. THE MATERIAL OBTAINED FROM SUCH EXCAVATIONS MAY BE USED AS BACKFILL PROVIDED THAT ALL ORGANIC MATERIAL, RUBBER, COBLES, AND OTHER OBJECTABLE MATERIALS ARE FIRST REMOVED.
- C) CONTRACTOR SHALL ADVISE TO ABANDON EXISTING SEWER AND WATER SERVICES NOT SCHEDULED TO REMAIN IN SERVICE IN ACCORDANCE WITH APPROVING AGENCY REQUIREMENTS.
- D) ALL PIPED UTILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS CLOSED WITH CONCRETE PLUGS WITH A MINIMUM LENGTH EQUAL TO 2 TIMES THE DIAMETER OF THE ABANDONED PIPE.
- E) THE END OF ALL UTILITY STRIPS SHALL BE MARKED WITH A 2X4 COLORED COUS AND WIRE TO PIPE SUB.
- F) ALL NON-METALLIC WATER, SANITARY AND STORM SEWER PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 1/2 GAUGE COPPER TRACKER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER AND GREEN FOR STORM AND SANITARY PIPING. TRACKER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES, CLEAN-OUTS, MANHOLES AND CATCH BASINS. TRACKER WIRE PENETRATIONS INTO MANHOLES EXCEEDING 18 INCHES FROM THE RIM ELEVATION AND ADJACENT TO MANHOLE STEPS. THE TRACKER WIRE SHALL BE TIED TO THE TOP MANHOLE STEP OR OTHERWISE SECURED TO ALLOW RETRIEVAL FROM THE OUTSIDE OF THE MANHOLE. USE WATERPROOF FITTINGS AT ALL CONDITIONS.
- G) NO TRENCHES IN ROADS OR DRIVEWAYS SHALL BE LEFT IN AN OPEN CONDITION OVERNIGHT. ALL SUCH TRENCHES SHALL BE CLOSED BEFORE THE END OF EACH WORK DAY AND NORMAL TRAFFIC FLOWS RESTORED.
- H) SANITARY SEWER LATERALS TO BE RUN TO EDGE OF R.O.W. AT 1/4" PER 12" SLOPE. LATERALS TO BE INSTALLED DOWNSTREAM OF MAINLINE CLEAN OUTS AND/OR MANHOLES. ALL CATCH BASINS TO HAVE 8" PVC 50#-35 LATERALS. CATCH BASIN LOCATION MAY BE MODIFIED TO ACCOMMODATE LOW SPOTS CREATED DURING CONSTRUCTION. ENGINEER AND/OR CITY PROJECT MANAGER WILL REQUIRE ADDITIONAL CATCH BASINS TO BE PLACED AT LOW SPOTS CREATED DURING CONSTRUCTION.
- I) CONTRACTOR TO MAKE WATER ADJUSTMENT TO STORAGE LOCATIONS, WHERE NECESSARY, TO AVOID CONFLICT. MAINTAIN 5' MINIMUM SEPARATION BETWEEN STORM AND SANITARY AND 10' MIN. SEPARATION BETWEEN SANITARY AND WATER. 1" TO MANHOLES OR CATCH BASINS AND 5' BETWEEN MANHOLES AND CATCH BASINS. MAINTAIN 1' VERTICAL AND 2' HORIZONTAL SEPARATION BETWEEN CITY AND PRIVATE FRESHWATER UTILITY SERVICES AND 7' HORIZONTAL SEPARATION BETWEEN CITY UTILITIES IN A COMMON TRENCH.

WATER SYSTEM (COURTNEY WATER P.I.D.):

- A) PUBLIC FORCES TO OPERATE ALL VALVES INCLUDING FIRE HYDRANTS ON EXISTING PUBLIC MAINS.
- B) ALL WATER MAINS SHALL BE PVC CLASS 200, ALL FITTINGS 4-INCHES THROUGH 24-INCHES IN DIAMETER SHALL BE PVC FITTINGS IN CONFORMANCE WITH AWWA C-153 OR AWWA C-110. THE MINIMUM WORKING PRESSURE FOR ALL 4" AND LARGER SIZE OF EXISTING WATER MAINS THROUGH 24-INCH IN DIAMETER SHALL BE 350 PSI FOR 1/2" FITTING AND 350 PSI FOR FLANGED FITTING.
- C) MATERIALS THAT COME INTO CONTACT WITH POTABLE WATER SHALL MEET NATIONAL SANITATION FOUNDATION STANDARD 61, SECTION 9 REQUIREMENTS.
- D) ALL WATER MAINS TO BE INSTALLED WITH A MINIMUM 30 INCH COVER TO FINISH GRADE UNLESS OTHERWISE NOTED ON DIRECTED SERVICE LINE TO BE INSTALLED WITH A MINIMUM 24 INCH COVER. DEPTH DEPTHS MAY BE EXCEEDED AS SHOWN ON THE DRAWINGS OR TO AVOID OBSTRUCTIONS.
- E) UNLESS OTHERWISE SHOWN OR APPROVED BY THE ENGINEER, ALL VALVES SHALL BE FLANGE CONNECTED TO ADJACENT TEES OR CROSSINGS.
- F) WATER SERVICE PIPE OR THE PUBLIC SIDE OF THE METER SHALL BE AS SHOWN IN THE WATER SERVICE DETAIL.
- G) ALL CONNECTIONS INTO EXISTING WATERLINE ARE TO BE DONE BY PUBLIC APPROVED CONTRACTOR. SUBMIT NAME, QUALIFICATIONS AND MATERIAL SPECIFICATIONS TO P.I.D. FOR REVIEW AND APPROVAL A MINIMUM OF 1 WEEK IN ADVANCE OF WORK.
- H) CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND MATERIALS (INCLUDING PICKS, BLOWERS, VALVES, SERVICE TAPS, ETC.) REQUIRED TO FLUSH, TEST AND DEMONSTRATE MATERIALS PER PUBLIC AGENCY REQUIREMENTS. PRESSURE TESTING SHALL BE DONE IN WITH AWWA SECTION 1140.5.1.
- I) THE WORK SHALL BE PERFORMED BY A BANNER DESIGNATED TO MAINTAIN WATER SERVICE TO RESIDENCES SUPPLIED FROM THE EXISTING WATERLINE. IN NO CASE SHALL SERVICE TO ANY MAIN LINE OR RESIDENCES BE INTERRUPTED FOR MORE THAN FOUR (4) HOURS IN ANY ONE DAY. CONTRACTOR SHALL NOTIFY THE P.I.D. AND ALL APPLICABLE RESIDENTS AND BUSINESSES A MINIMUM OF 24 BUSINESS HOURS (1 BUSINESS DAY) PRIOR TO ANY INTERRUPTION OF SERVICE.
- J) WHERE SANITARY SEWER LINES CROSS ABOVE OR WITHIN 18" INCHES VERTICAL SEPARATION BELOW A WATERLINE, SEWER MAINS AND/OR LATERALS SHALL BE REPLACED WITH AWWA C-900 PVC PIPE (OR 18" IF THE WORK IS IN CENTER THE FULL LENGTH OF APPROXIMATE POINT OF CROSSING).

SANITARY SEWER SYSTEM:

- A) UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D3034, SIZE 35. MINIMUM STIFFNESS SHALL BE 48 PSI PER ASTM D-2412 AND JOINT TYPE SHALL BE CLASSTONIC GASKET CONFORMING TO ASTM D-3312. ALL OTHER APPROVALS AND INSTALLATION TO CONFORM TO THE CITY SPECIFICATIONS.
- B) ALL PRECAST MANHOLES SHALL BE PROVIDED WITH INTEGRAL RUBBER BOOTS. WHERE MANHOLES WITH INTEGRAL RUBBER BOOTS ARE NOT USED, A SHEAR JOINT SHALL BE PROVIDED ON ALL MANHOLES WITHIN 1.5 FEET OF THE CURBFACE OF THE MANHOLE. WATER-TIGHT LOCKDOWN USE REQUIRED ON ALL MANHOLES OUTSIDE OF PUBLIC RIGHT-OF-WAY. ALL MANHOLES ARE TO HAVE FLOW CHANNELS CAST IN THEM.
- C) OPENINGS TOP CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY EXCAVATING OR CORE-DRILLING EXISTING MANHOLE STRUCTURE. USE OF PYCNETIC SLOTTING SHALL BE PROHIBITED. CONNECTIONS TO BE WATER-TIGHT AND SHALL PROVIDE A SMOOTH FLOW INTO AND THROUGH THE MANHOLE. SMALL EQUIPMENT MANHOLES OR SIMILAR LIGHT TOOLS WHICH WILL NOT DAMAGE OR CRACK THE MANHOLE BASE MAY BE USED TO SHAPE CHANNELS OR DAMAGE EXISTING OPENINGS IF AUTHORIZED BY THE ENGINEER.
- D) FOR DEGRADE REQUIREMENTS, CONTRACTOR SHALL HAVE PUBLIC SEWER INSTALLATION INSPECTED AND TESTED AND CERTIFIED BY A LICENSED ENGINEER. CONTRACTOR TO PROVIDE ENGINEER WITH 48 HOURS ADVANCE NOTICE FOR INSPECTION.
- E) CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT FACILITIES TO TEST SANITARY SEWER PIPE AND APPURTENANCES FOR (LEAKAGE IN ACCORDANCE WITH CITY CONSTRUCTION STANDARDS. SANITARY SEWER PIPE AND APPURTENANCES SHALL BE TESTED FOR LEAKAGE. LEAKAGE TESTS SHALL INCLUDE AN AIR TEST OF ALL SEWER MAINS AND LATERALS AND VACUUM AND WATER TESTING OF THE MANHOLES. MANHOLE TESTING SHALL BE PERFORMED AFTER COMPLETION OF AC PAVEMENT AND FINAL SURFACE RESTORATION.
- F) MANHOLES CONSTRUCTED OVER EXISTING SANITARY SEWERS SHALL CONFORM TO SECTION 02040.41 (MANHOLES OVER EXISTING SEWERS) OF THE ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY. THE EXISTING PIPE SHALL NOT BE BROKEN OUT UNTIL AFTER THE COMPLETION OF THE MANHOLE TESTS.
- G) PRIOR TO MANHOLE TESTING AND/OR TV INSPECTION, FLUSH AND CLEAN ALL SEWERS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MANHOLES AND MANHOLES.
- H) CONTRACTOR SHALL CONDUCT DEFLECTION TESTS OF FLEXIBLE SANITARY SEWER PIPES BY PULLING AN APPROVED MANHOLE THROUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPLETION. THE DIAMETER OF THE MANHOLE SHALL BE 50% OF THE INITIAL PIPE DIAMETER. TEST SHALL BE CONDUCTED NOT MORE THAN 30 DAYS AFTER THE TRENCH BACKFILLING AND COMPACTION HAS BEEN COMPLETED.
- I) UPON COMPLETION OF ALL SEWER CONSTRUCTION, TESTING AND REPAIR, THE CONTRACTOR SHALL CONDUCT A CLEAN TV ACCEPTANCE INSPECTION OF ALL PUBLIC MANHOLES IN ACCORDANCE WITH SECTION 0204.74 (TELEVISION INSPECTION OF SANITARY AND STORM SEWERS) OF THE ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY. THE TV INSPECTION SHALL BE CONDUCTED BY AN APPROVED TECHNICAL SERVICE, WHICH IS EQUIPPED TO MAKE VIDEO-RECORDING OF THE TV INSPECTIONS. THE VIDEO TAPE OR DVD, UNLESS OTHERWISE REQUIRED BY AGENCY WITH JURISDICTION, A STANDARD 1-INCH DIAMETER BALL SHALL BE SUBSTITUTED IN FRONT OF THE CAMERA BEING THE INSPECTOR'S SUPERVISION. RECORDING TO LOW HEADS OR REVERSE GRADE SHALL BE DISCONTINUED INTO THE PIPE IMMEDIATELY PRIOR TO WITHDRAWAL OF THE TV INSPECTOR. THE VIDEO TAPE AND WRITTEN REPORT SHALL BE DELIVERED TO THE CITY.

STORM DRAIN SYSTEM:

- A) STORM SEWER PIPE MATERIALS TO CONFORM TO THE CONSTRUCTION DRAWINGS AND CITY REQUIREMENTS (PVC D3034 ONLY), NO HOPE UNLESS SPECIFICALLY AUTHORIZED BY THE CITY, UNLESS OTHERWISE NOTED OR SHOWN ON THE DRAWINGS. STORM SEWER PIPE MATERIALS WITH WATER-TIGHT JOINTS SHALL CONFORM TO THE TABLE BELOW. CONTRACTOR SHALL USE LIGHTWEIGHT PIPE MATERIAL ON EACH PIPE RUN BETWEEN STRUCTURES UNLESS OTHERWISE DIRECTED OR APPROVED.
- B) CONTRACTOR SHALL DESIGNATE THE PIPE MATERIAL ACTUALLY INSTALLED ON THE FIELD RECORD DRAWINGS AND PROVIDE THIS INFORMATION TO THE ENGINEER FOR AS-BUILT DRAWINGS.
- C) CATCH BASINS SHALL BE SET SQUARE WITH BUILDINGS OR WITH THE EDGE OF THE PARKING LOT OR STREET WHERE THEY USE STORM SEWER INLET STRUCTURES AND PAVING SHALL BE ADJUSTED SO WATER FLOWS INTO THE STRUCTURE WITHOUT FORMING PONDING.
- D) UNLESS OTHERWISE APPROVED BY THE ENGINEER, ALL STORM DRAIN CONNECTIONS SHALL BE BY MANUFACTURED TEES OR SADDLES. CATCH BASIN LATERALS ARE TO USE WIG 45° WALL.
- E) UNLESS OTHERWISE SHOWN OR DIRECTED, INSTALL STORM SEWER PIPE IN ACCORDANCE WITH MANUFACTURERS INSTALLATION.
- F) PRIOR TO MANHOLE TESTING OR FINAL ACCEPTANCE, FLUSH AND CLEAN ALL STORM DRAINS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MANHOLES, MANHOLES AND CATCH BASIN.
- G) CONTRACTOR SHALL CONDUCT DEFLECTION TESTS OF FLEXIBLE STORM SEWER PIPES BY PULLING AN APPROVED MANHOLE THROUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPLETION. THE DIAMETER OF THE MANHOLE SHALL BE 50% OF THE INITIAL PIPE DIAMETER. TEST SHALL BE CONDUCTED NOT MORE THAN 30 DAYS AFTER THE TRENCH BACKFILLING AND COMPACTION HAS BEEN COMPLETED.
- H) CATCH BASIN LATERALS ARE TO BE "TIED" INTO THE MAIN. STAGGER WYE'S SHARPLY WHOOP CATCH BASINS ARE DIRECTLY GRABED FROM ONE ANOTHER.
- I) ALL MANHOLE BASES SHALL BE CONSTRUCTED WITH FLOW THROUGH CHANNELS.

COVER DEPTH	CLASS -- 48" DIAMETER
LESS THAN 2' COVER	CLASS 52 DUCTILE IRON PIPE WITH BELL AND SPIGOT JOINTS AND RUBBER GASKET OR HDPE (HIGH DENSITY POLYETHYLENE) PIPE CONFORMING TO AWWA M-252 (8"-10") OR AASHTO M-294, TYPE 5 (12"-18") WITH PRESSURE TESTABLE FITTINGS AND O-RING GASKETS CONFORMING TO ASTM F-1536 AND ASTM F-477 RESPECTIVELY WITH CIP BACKFILL.
2' TO 2.5' COVER	PIPE SPECIFIED FOR LESSER COVER DEPTH
	PVC ASTM D3034 50#-35 ELASTOMERIC GASKETS CONFORMING TO ASTM D-3312.
2.5' TO 15' COVER	PIPE SPECIFIED FOR LESSER COVER DEPTH

STREET LIGHTS:

- A) STREET LIGHTS SHALL BE INSTALLED AFTER ALL OTHER EARTHWORK AND PUBLIC UTILITY OPERATIONS ARE COMPLETED AND AFTER ROUGH GRADING OF THE PROPERTY IS ACCOMPLISHED TO PREVENT DAMAGE TO THE POLES.
- B) STREET LIGHTS POLES SHALL BE SET TO A DEPTH AS SPECIFIED BY THE MANUFACTURER, BUT NOT LESS THAN 5 FEET.
- C) STREET LIGHT POLES SHALL BE INSTALLED WITHIN ONE DEGREE (1°) OF PLUMB.
- D) CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND PAY ALL COSTS FOR PROCUREMENT, INSTALLATION, WINDING AND HOOK UP OF STREET LIGHTS.

PRIVATE UTILITIES:

- A) UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR APPROVED BY JURISDICTION HAVING AUTHORITY, ALL NEW PRIVATE UTILITIES (POWER, CABLE TV, TELEPHONE & GAS) SHALL BE INSTALLED UNDERGROUND. INSTALLATION OF PRIVATE UTILITIES BY A COMMON TRENCH WITH WATER, SANITARY SEWER OR STORM SEWER IS PROHIBITED.
- B) CONTRACTOR SHALL COORDINATE POWER, TELEPHONE, AND CABLE TV COMPANY FOR LOCATION OF UTILITIES, UTILITIES, ETC. ALL ABOVE GROUND FACILITIES SHALL BE PLACED IN A LOCATION OUTSIDE THE PROPOSED SIDEWALK LOCATION.
- C) POWER, TELEPHONE AND CABLE TV FACILITIES AND CONDUITS SHALL BE INSTALLED PER UTILITY COMPANY REQUIREMENTS WITH PLUMB WIRE. CONTRACTOR SHALL NOTIFY UTILITY COMPANY FOR SIZE AND TYPE OF CONDUIT PRIOR TO CONSTRUCTION. ALL CHANGES IN DIRECTION OF UTILITY CONDUIT BUNS SHALL HAVE LONG RADIUS STEEL BENDS.
- D) CONTRACTOR SHALL NOTIFY AND COORDINATE WITH PRIVATE UTILITY FOR RELOCATION OF POWER POLES, WELLS, ETC.
- E) ALL PRIVATE UTILITY STRUCTURES (VALVES, pedestals, LIGHT POLES, ETC.) SHALL BE SET A MINIMUM OF 1 FOOT FROM ANY PROPERTY CORNER OR SURVEY MONUMENT.

GENERAL NOTES

FOR
NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21
MODULAR ADDITIONS
TAX LOT 2N-43E-29C 400
THE DALLES, WASCO COUNTY, OREGON

Design: B.B.B. I.E.C.
Survey: I.E.C.
DWG. No. 14-200(14200)14207(03)E-14207
Date: 2/7/2014
Scale: R.S.S.
Work Order No. 14207
AS NOTED

TENNESON ENGINEERING CORP.
CONSULTING ENGINEERS
3775 CRATES WAY
THE DALLES, OREGON 97038
PH. 541-298-9177 FAX 541-296-6657

PRELIMINARY ONLY

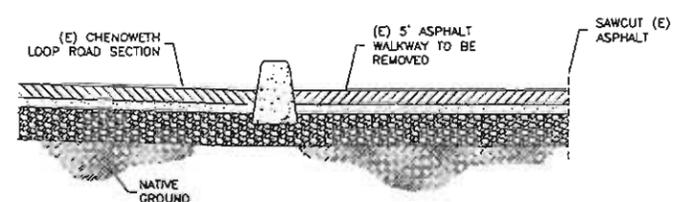
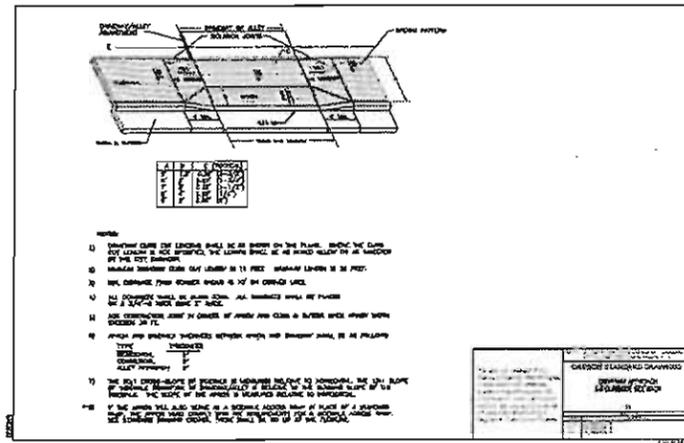
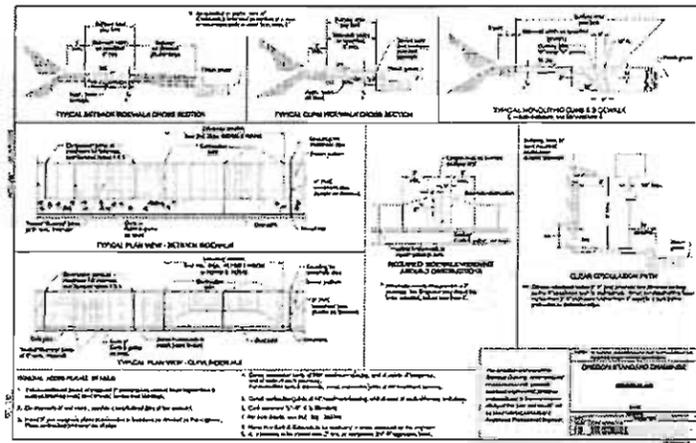
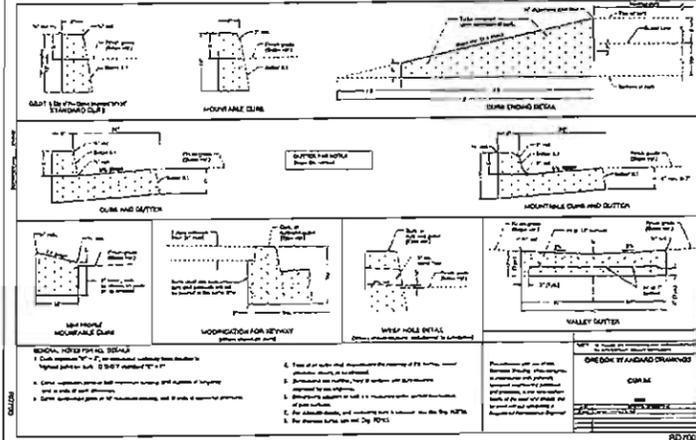
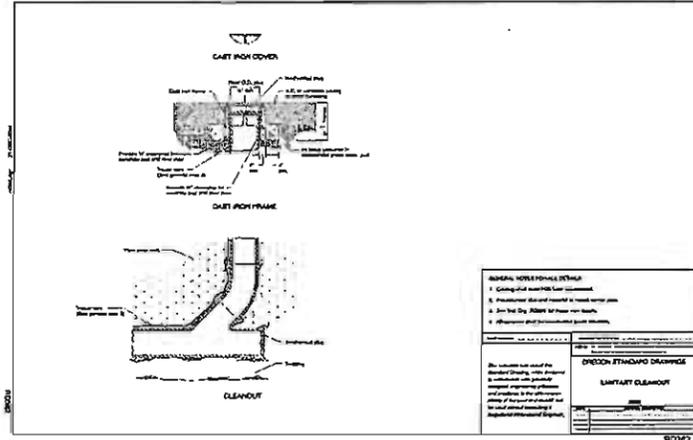
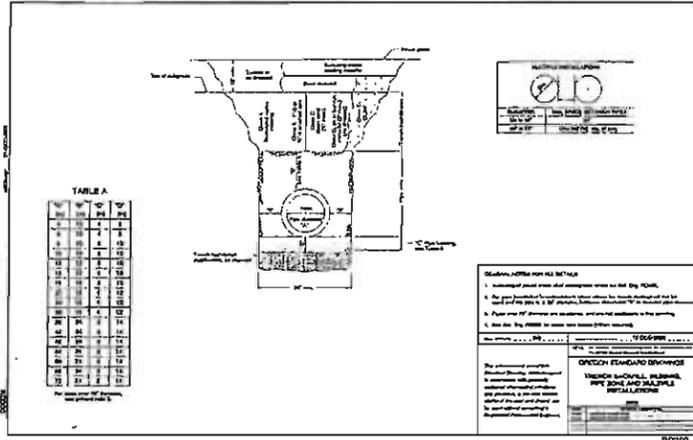
RENEWAL DATE: 12/31/13

NOTES

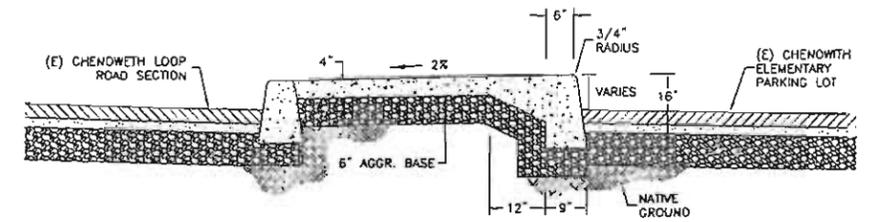
SHEET
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Work Order No.
14267

NOTE: SEE SHEET 2 FOR LEGEND



EXISTING WALKWAY
SCALE: N.T.S.



PROPOSED SIDEWALK
SCALE: N.T.S.

Design: B.B.B. Survey: T.E.C.

DRG. No. R:\VADO\14267\14267\081E-14267

Date: 2/7/2014 Drawn: R.S.S.

Work Order No. 14267 Scale: AS NOTED

CIVIL DETAILS

FOR NORTH WASCOCO COUNTY SCHOOL DISTRICT NO. 21
MODULAR ADDITIONS
TAX LOT 2N-13E-29C 400
THE DALLES, WASCOCO COUNTY, OREGON

TENNESON ENGINEERING CORP.
CONSULTING ENGINEERS
3775 CRATES WAY
THE DALLES, OREGON 97058
PH. 541-296-9177 FAX 541-296-6657

PRELIMINARY ONLY

REGISTERED PROFESSIONAL ENGINEER
STATE OF OREGON
No. 1777
E. BECK
RENEWAL DATE: 12/31/13

DETAILS

SHEET
7 8

Work Order No. 14267

City of The Dalles STAFF REPORT

Conditional Use Permit No. 173-14

N. Wasco County School District # 21

Prepared by: Dawn Marie Hert, Senior Planner 

Procedure Type: Quasi-Judicial

Hearing Date: March 6, 2014

Assessor's Map: 1N 13E 10, tax lot 100

Address: 1314 East 19th

Comprehensive Plan
Designation: "RL" Low Density Residential District with a
"CFO" Community Facility Overlay.

Zoning District: "RL" Low Density Residential District with a
"CFO" Community Facility Overlay.

City Limits: Inside

Request: To install two modular classroom buildings.

BACKGROUND INFORMATION

The subject property is located at 1314 East 19th Street and has been the location of Dry Hollow Elementary School for many years.

In 2008 the applicant received approval from the Planning Commission on CUP 147-08 to site two modulares. The applicant is proposing to add two separate modular classroom buildings to the east of the existing elementary school. The work will also include connection to utilities.

Schools are by definition community facilities. Such a change to the site requires a conditional use permit. This staff report will include both the Conditional Use Permit review, as well as a Site Plan Review.

NOTIFICATION

Property owners within 300 feet, City Departments, franchise utilities, Mid-Columbia Fire & Rescue, Wasco County Health Department, and State Building Codes were mailed a notice on February 20, 2014, as required by Section 3.020.050 D.

COMMENTS RECEIVED

Pre-Application –Site Team. The application was reviewed by the Site Team members on January 23, 2014. The comments received from that application are included in this staff report.

Property Owner Comments – No comments were received as of the date this report.

RECOMMENDATION: Approval, with conditions, based upon the following findings-of-fact.

A. LAND USE AND DEVELOPMENT ORDINANCE 98-1222:

Section 3.010.040 Applications:

Subsection B. Completeness.

FINDING A-1: This application was found to be complete on February 20, 2014. The 120-day State mandated decision deadline is June 20, 2014.

Section 3.020.050 Quasi-Judicial Actions:

Subsection A. Decision Types, (1) Site Plan Review; (3) Conditional Use Permits:

FINDING A-2: This application is for a Conditional Use Permit and Site Plan Review as required by Section 5.050.040 (E). The decision criteria listed in this ordinance section is addressed in the body of this staff report.

Subsection B. Staff Report. The Director shall prepare and sign a staff report for each quasi-judicial action, which identifies the criteria and standards applying to the application and summarizes the basic findings of fact. The staff report may also include a recommendation for approval with conditions, or denial.

FINDING A-3: The staff report will detail criteria and standards relevant to a decision, all facts will be stated, and explanations given. This will be detailed through a series of findings directly related to relevant sections and subsections of the ordinance as they relate to this request.

Subsection C. Public Hearings.

FINDING A-4: The public hearing is scheduled for March 6, 2014.

Subsection D. Notice of Hearing.

FINDING A-5: Appropriate mailings to property owners within 300 feet and notice to affected departments and agencies have been completed.

Section 3.050.030 Review Procedures:

Subsection A. Applications. Conditional Use Permit applications shall be accompanied by at least 15 copies of the concept site plan, and when required, two copies of the detailed landscape and construction/design plans, per the provisions of Section 3.030: Site Plan Review.

FINDING A-6: Copies of the required plans have been submitted.
Criterion met.

Section 3.050.040 Review Criteria

Subsection A. Permitted Conditional Uses. The proposed use is conditionally permitted in the zone district where it is proposed to be located.

FINDING A-7: Schools are conditionally allowed in the RL zone.
Criterion met.

Subsection B. Standards. The proposed use conforms to all applicable standards of the zone district where the use is proposed to be located. The proposed use will also be consistent with the purposes of this ordinance, applicable policies of the Comprehensive Plan, and any other statutes, ordinances, or policies that may be applicable.

FINDING A-8: Section 5.010.050 sets out the development standards for the RL zone. The proposed buildings will meet all development standards. Criteria met.

Subsection C. Impact. The proposed structure(s) and use(s) shall be designed and operated in such a way as to meet the standards of this section. Impacts caused by the construction of the conditional use shall not be considered regarding a decision on the validation of the application.

1. Noise impacts across the property line shall not exceed 60 decibels. Noise related to traffic impacts shall not be included in this determination. Nothing in this section shall modify other noise ordinance standards as adopted by the City.

FINDING A-9: The use as a school has been established. The two added classrooms should not increase the existing noise generated by the school children and vehicles that access the site. The traffic impacts generated with this use cannot be used in making a determination. The applicant will be advised of the allowable noise levels.

2. Lighting impacts across the property line shall not exceed 0.5 foot-candles (a foot-candle is the amount of light falling upon a 1-square-foot surface which is 1 foot away from a 1-candlepower light source.)

FINDING A-10: Additional lighting was not shown on the Site Plan and will be addressed as a condition of approval and is discussed later in this report.

3. Dust and other particulate matter shall be confined to the subject property.

FINDING A-11: The proposed use would not typically create dust or other particulate matter. All areas of maneuvering for vehicles will be required to be a hard surface which should aid in a reduction in dust and particulate matter.

4. The following odors shall be completely confined to subject property:

- a. *industrial and/or chemical grade chemicals, solvents, paints, cleaners, and similar substances;*
- b. *fuels, and*
- c. *fertilizers, manure, or other animal waste products, other than for landscape installation and maintenance.*

FINDING A-12: The proposed use will not be using any of the listed items that cause odors. This proposal does not indicate that many of these nuisances need to be reviewed in depth for mitigation purposes. Trash receptacles should be sized to fully accommodate the needs of the uses at the site. No outdoor storage of materials or supplies related to this proposed use will be allowed. Criterion can be addressed as a condition of approval.

5. *Vibrations shall not be felt across the property line.*

FINDING A-13: The proposed development does not include machinery or equipment that causes vibration. Criterion does not apply.

6. *The transportation system is capable, or can be made capable, of supporting the additional transportation impacts generated by the use.*

Evaluation factors shall include, but are not limited to:

- a. *Street designations and capacities; and*
- b. *On-street parking impacts.*

FINDING A-14: Access to this parcel is from Dry Hollow Road. No additional access is being requested. Staff discussed the traffic concerns that have been voiced at Traffic Safety Meetings and throughout the community and suggested that the applicant address the issues in their submittal for this application due to the increase of classrooms for full-day Kindergarten. Budgetary issues have a tendency to limit the school to make necessary improvements. However, staff would suggest that the Planning Commission discuss the traffic issues and look to some solution that will help ensure the safe travel and drop-off of the school children that attend this school. Staff suggests that this be addressed and that a requirement be placed upon the applicant to possibly phase some improvements in the coming years. Criterion will be addressed as a condition of approval.

7. *In areas designated as Historic Districts, proposed development and redevelopment shall first require review and approval of the Historic Landmarks Commission in accordance with the procedures of the Historic Resources Ordinance (General Ordinance No. 94-1194.)*

FINDING A-15: The subject property is not a historic landmark nor is it located in a National Historic District. Criterion does not apply.

Site Plan Review - Section 3.030.040 Review Criteria.

A. City Ordinance Provisions. *All the provisions from the applicable City ordinances have been met or will be met by the proposed development.*

FINDING A-16: All provisions are met by this proposal, or will be met, as a condition of approval. This will be detailed in the staff report through a series of findings.

B. Public Facilities Capacity. *Adequate capacity of City facilities for water, sanitary sewer, storm sewer, and streets and sidewalks can and will be provided to, and were applicable, through, the subject property.*

FINDING A-17: Adequate capacity exists for facilities including water, storm sewer, and streets. In regards to sidewalks, as stated above, staff has recommended that the Planning Commission discuss the safe travels of children that attend the school. Water and sanitary sewer are available from the City. The Dalles Public Works Department has verified this information. Criterion will be addressed as a condition of approval.

C. Arrangement of Site Elements.

1. Promote pedestrian, bicycle, and vehicular safety and welfare.

FINDING A-18: Pedestrian safety and welfare is promoted by the sidewalks along the immediate frontage of the property. Existing walkways are provided from the public sidewalk to the main entrance of the building. Existing parking is provided at the front of the building. Bicycle parking also exists at the school site. Vehicular safety is promoted by having adequate stall and aisle dimensions as well as an improved access point on Dry Hollow Road. As stated above, staff suggests that the Planning Commission address the traffic and safety concerns that exist and that will be created with the addition of the two new modular buildings.

2. Preserve and maintain public amenities and significant natural features.

FINDING A-19: There are no known public amenities or significant natural features on this site. Criterion does not apply.

3. Avoid traffic congestion.

FINDING A-20: The provided on-site parking appears to meet minimum spacing and lane requirements. Access to the parking lot will be via the existing access point. Criterion met.

4. Minimize potential adverse impacts on surrounding properties.

FINDING A-21: The range of uses for this site does not have a high potential for off-site impacts. Nuisance conditions that may develop are addressed on a complaint basis; this includes noise, dust, vibration, and odor. Those criteria are addressed earlier in the Conditional Use Permit portion this staff report.

D. Lighting. *Proposed lighting shall not directly illuminate adjoining properties.*

FINDING A-22: General lighting of the parking areas and the buildings is not shown on the site plan. Lighting is not allowed to illuminate adjoining properties. If additional exterior lighting is planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. These items will be addressed as a condition of approval.

E. City Engineer Approval. *Detailed construction/design plans for public infrastructure, improvements, or rights of way affected by or located within a proposed development site shall be approved by the City Engineer as a condition of Site Plan Review approval.*

FINDING A-23: The detailed construction/design plans for all improvements located within the proposed development site shall be approved by the City Engineer prior to construction. Criterion will be addressed as a condition of approval.

F. Waiver of Remonstrance. *Where applicable, the applicant shall agree to waive any future rights to remonstrate against future improvements, per the provision of Section 6.110: Waiver of Right to Remonstrate of this ordinance.*

FINDING A-24: All improvements adjacent to the site are installed. A Waiver of Remonstrance may be an option that the Planning Commission could require in lieu of requiring improvements.

Section 5.060.040 - Conditional Uses B. Community Facilities

Section 5.100.020 - Conditional Uses L. Public and Private School Facilities

FINDING A-25: As indicated on the application submitted, the proposed use is for a public school. The use is allowed conditionally in the Residential Low Density zoning district with a Community Facility Overlay. Criterion met.

Sections 5.010.050 & 5.100.040 Development Standards:

The following table specifies General Commercial development standards applicable to this application.

Residential Low Density/ Community Facility Overlay	Standard	Proposal	Meets Requirements
Lot Size	<i>No minimum</i>	Existing lot, 13.75+ acres	Criterion met.
Setbacks	<i>Front and Side Yard: No minimum, except that vision clearance on corner lots shall be met.</i>	New classrooms are located to the east of the existing elementary school and not in the vision clearance area.	Criterion met.

Building Height	40 ft. maximum within 100 feet of a residential district.	One story modulares are approximately 14-16 feet.	Yes
Off-Street Parking	<i>Elementary Schools- 1.5(min) spaces per classroom - 2(max) spaces per classroom. & Bicycle spaces @ 5 per classroom.</i>	Parking and bicycle space was not provided with the application and can be addressed as a condition of approval. The existing parking lot appears that it may be adequate.	Automotive parking & bicycle parking will be addressed as a condition of approval.
Landscaping	Detailed Below	Detailed Below	Detailed Below

FINDING A-26: Criterion will be addressed with conditions of approval.

Section 5.050.060 Design Standards:

Subsection A. Exterior Elevations. Exterior elevations of buildings (except allowed 1 and 2 family dwellings) shall incorporate architectural design features such offsets, balconies, projections, base/wall/cornice design, windows, entries, bays, seating, wall articulation, traditional storefront elements, or similar elements to preclude large expanses of uninterrupted building surfaces.

1. **Horizontal.** *At least 3 architectural design features shall be incorporated along the horizontal face (side to side) of the structure.*
2. **Vertical.** *At least 2 architectural design features shall be incorporated along the vertical face (top to bottom) of the structure.*

FINDING A-27: The proposed building elevation drawings were not submitted with the application. Criterion will be addressed as a condition of approval.

Subsection B. Entries.

1. **Commercial and Residential.** *Primary entries shall face a public street or designated access drives and shall be accessed from a public sidewalk in accordance with the provisions of Subsection (C) below. Secondary entries may face parking lots or loading areas. Doors shall not swing into public rights-of-way.*

FINDING A-28: The primary entrance will face the public street Dry Hollow Road. Doors will not swing into the public right of way. Criterion met.

Subsection C. Pedestrian Walkways. Each developed site shall include pedestrian walkway(s) designed to connect buildings and other accessible site facilities clearly and directly to adjacent public street/sidewalk(s). Walkways shall meet City standards for sidewalk construction, and be the shortest practical distance between the main entry(ies) and the public right-of-way. If adjacent to parking where vehicles overhang the walkway, then the walkway shall be to the City standard plus 2 ½ feet in width for each side vehicles overhang. Walkways shall be distinguished from internal driveways and accessways using at-grade distinctive paving materials or other appropriate surfaces which contrast visually with adjoining surfaces.

Walkways, including driveway and accessway crossings, shall be constructed and maintained for pedestrian safety, and shall meet the requirements of the Oregon Americans with Disabilities Act, the State of Oregon Structural Specialty Code, and the Oregon Revised Statutes.

Section 10.040 Pedestrian Requirements:

Subsection B. Connectivity.

- (3) (a) The on-site pedestrian circulation system shall connect the sidewalk on adjacent street(s) to the main entrance of the primary structure on the site to minimize out-of-direction pedestrian travel.*
- (b) Walkways shall be provided to connect the on-site pedestrian circulation system with existing or planned pedestrian facilities which abut the site but are not adjacent to the streets abutting the site.*
- (c) Walkways shall be as direct as possible and avoid unnecessary meandering.*
- (d) Walkway/driveway crossings shall be minimized, and internal parking lot circulation design shall maintain ease of access for pedestrians from abutting streets and pedestrian facilities.*
- (e) Walkways shall be separated from vehicle parking or maneuvering areas by grade, different paving material, or landscaping. They shall be constructed in accordance with the sidewalk standards adopted by the City Engineer. (This provision does not require a separated walkway system to collect drivers and passengers from cars that have parked on site unless an unusual parking lot hazard exists).*

FINDING A-29: The site plan shows a proposed pedestrian walkway from the main building to the new classrooms. A few existing walkways are provided from the site to the public sidewalk. Criterion met.

Section 6.010 Landscaping Standards:

6.010.030 General Provisions

Subsection B. Landscape Plans; *where landscaping is required by this Ordinance, detailed landscape plans may be submitted with the development application. If not submitted for approval with the application, approval of detailed landscape plans shall always be a condition of the concept plan approval of the Site Plan Review process.*

FINDING A-30: The “CFO” Community Facility Overlay zone requires the underlying zone requirements be met, and the “RL” Residential Low Density zone requires 1.5 times the first floor area of all structures. A majority of the 13.75 acre parcel contains landscaping if not occupied by a structure, parking lot or paved play areas. Criterion met.

Section 7.030 General Design Standards for Surface Parking Lots:

7.030.040 Subsection C. Interior parking Lot Landscaping. *In addition to buffer landscaping along public right-of-way (excluding alleys and accessways) and along interior lot lines where required, all surface parking lots greater than 6 spaces shall include landscaping to cover not less than 10% of the interior of the parking area in accordance with the following:*

1. *A planting strip bay shall be located at the end of each parking row and at intervals between parking rows. Planting bays shall be a minimum of 9' wide; to allow doors to open without damage, and a minimum of 180 square feet. Each bay shall be curbed, and planted with 1 approved tree having a clear trunk height of at least 9 feet when mature. Height of all plantings, other than trees, in planting bays is limited to 24 inches.*
2. *All trees shall be selected from a list of acceptable parking lot trees provided by the Director.*
3. *Trees shall not be placed within 10 feet of a public utility easement without prior approval of the City Engineer.*
4. *Parking area shall be separated by a 5 foot landscaped planting bed from all exterior walls that include no pedestrian entranceways or loading areas.*
5. *Driveways, accessways, and access drives into vehicle parking lots from public and private streets shall be bordered (both sides) by a minimum 5 foot wide landscape planter strip with approved trees planted 20-30 feet on center and low shrubs.*
6. *Trees shall be evenly distributed throughout the parking area according to the applicable requirements of this section and the following tableZone District "CG" - Commercial General - Parking Lot Tree Requirement Ratio - 1 tree per 12 parking spaces.*

FINDING A-31: The proposed vehicular areas were not calculated in the submittal. If there is a modification or addition to the parking area that exceeds 10%, the above requirements will be required to be met. Criterion will be addressed as a condition of approval.

Section 7.020.100 Storm Water Pretreatment:

All parking areas which are designed to accommodate 25 or more vehicles, or to contain 2 or more levels, shall be required to install an oil/water separator to treat storm water capture before discharging to the storm water system. The separator design and maintenance schedule shall be approved by the City Engineer. (Note: See City Ordinance number 97-1213, Sewer Regulations and Ordinance number 96-1205, Pretreatment.)

FINDING A-32: If there is an addition to the parking lot of more than 10%, the requirement of installing storm water pre-treatment will be necessary. Criterion will be addressed as a condition of approval.

Section 6.050 Access Management

Subsection 6.050.030 General Requirements

E. Emergency Access *All development shall be arranged on site so as to provide safe and convenient access for emergency vehicles.*

FINDING A-33: The proposed project includes using an existing access on Dry Hollow Road as well as provide an access to Lewis Street through an existing gated easement. These access points meet the minimum width requirement for emergency vehicles. All on-site vehicular aisles meet code required minimums and all for the safe and convenient access of emergency vehicles. This criterion is, therefore, met.

IF APPROVED, SUGGESTED CONDITIONS OF APPROVAL:

1. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWP standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
2. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
3. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
4. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
6. Applicant will need to be sure that the new structures are not located over existing gas lines that serve the property. Contractor should call for a locate prior to any excavation.
7. Details of the parking spaces and bicycle spaces will need to be provided to ensure that the site contains parking to meet the code requirements. Applicant needs to show that the number of existing parking spaces meets code requirements. For elementary schools the minimum number of automobile parking spaces is 1.5 spaces per classroom. The bicycle parking requirement is 5 spaces per classroom.
8. If new lighting is planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
9. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond allowable levels as determined by local, state, and federal standards shall not be allowed.
10. If the parking lot changes 10% or more, it will be required to be brought up to the current standards and require the installation of a storm water pre-treatment device. A maintenance agreement will be required for any required oil/water separators and must be on file with the City. The applicant/owner must also submit annual reports to the City.
11. Exterior elevation drawings will be required showing that the modular structures meet the design guidelines as stated in the LUDO.
12. Building permits will be required for each structure. System Development Charges will be assessed at that time.

13. North Wasco County School District #21 to provide a traffic and improvement plan that addresses the pedestrian, vehicular drop off and parking issues that exist and will be created with the addition of the two new modular buildings. The plan will need to be submitted within one year of the approval of this application and provide options and timings of necessary improvements to ensure the safety of the children that are walking to, or being dropped-off/picked-up at Dry Hollow Elementary.

CONDITIONAL USE PERMIT APPLICATION

CITY OF THE DALLES
Community Development Department
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
Fax (541) 298-5490
www.ci.the-dalles.or.us

Date Filed 2/11/2014
File# CUP 173-14
Date Deemed Complete 2/11/2014
Hearing Date 3/6/2014
Approval Date _____
Permit Log # _____
Other Cross Reference# _____



APPLICANT

LEGAL OWNER (If Different than Applicant)

Name North Wasco County School District 21
Address 3632 West 10th Street
The Dalles, OR 97058
Telephone # 541-506-3430

Name _____
Address _____

Telephone # _____

E-mail address: _____

PROPERTY INFORMATION

Address 1314 East 19th Street, The Dalles, OR 97058

Map and Tax Lot 1N 13E 10 Tax Lot 100

Size of Development Site Less than 1 acre

Zone District/Overlay RL/CFO

In City Limits: Yes X No _____

Comprehensive Plan Designation RL/CFO

Geohazard Zone: _____

PROJECT INFORMATION

New Construction Expansion/Alteration

Change of Use Amend Approved Plan

Current Use of Property Elementary School

Proposed Use of Property Elementary School

Briefly Explain the Project This project is to install 2 24' x 68' modular classroom buildings on the east side of the existing building. The project will consist of some minor site work, electrical, and domestic water and sewer connections. It is anticipated that there will be staff additions and relocation of existing staff.

PROPOSED BUILDING(S) FOOTPRINT SIZE (in square feet) 1,632 square feet each building, 3,264 square feet total

PARKING INFORMATION

Total Number of Spaces Proposed none

Square Footage of Parking Lot Landscaping Proposed none

LANDSCAPING INFORMATION

Total Square Footage Landscaping Proposed none Percent of Landscaping Irrigated none

ECONOMIC DEVELOPMENT INFORMATION

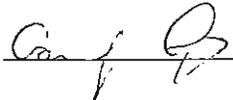
Proposed Project is located in the Enterprise Zone

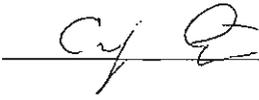
47.71 Full Time Equivalent (FTE) jobs are currently provided.

4.00 FTE jobs are expected to be created by the proposed project.

Signature of Applicant

Signature of Property Owner* or Owners Agent

 1/23/14
Date

 1/23/14
Date

* Notarized Owner Consent Letter may substitute for signature of property Owner

NOTE: This application must be accompanied by the information required in Section 3.050: Conditional Use Permits, contained in Ordinance No. 98-1222, The City of The Dalles Land Use and Development Ordinance.

PLANS REQUIRED:

At least 12 copies of concept site plan.

At least one 11 x 17 concept site plan.

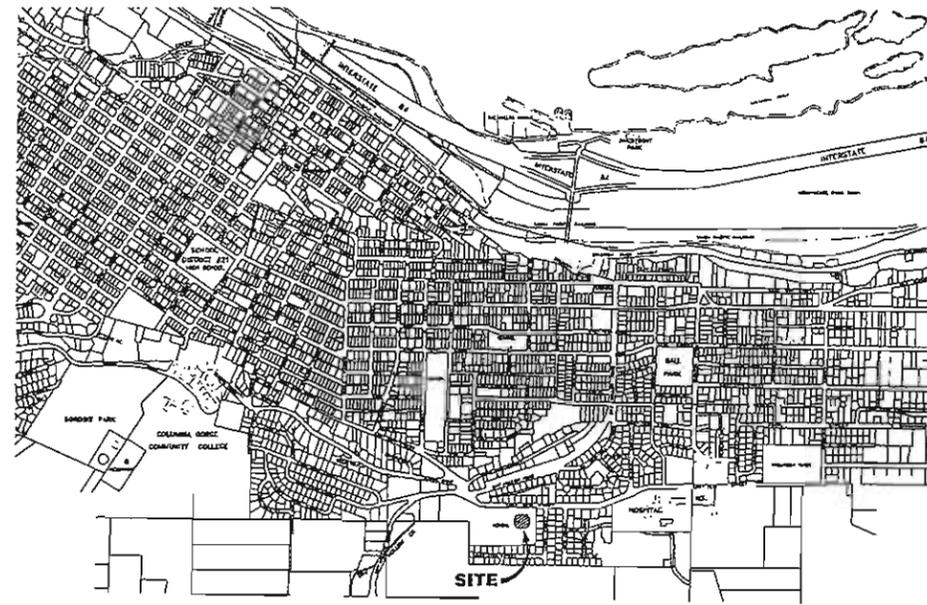
2 copies detailed landscape plans

2 full size copies construction detail plans

PROPOSED DRY HOLLOW ELEMENTARY MODULAR ADDITIONS FOR NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21 TAX LOT 1N-13E-10 100 FEBRUARY 2014

INDEX:

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS
- SHEET 3 SITE PLAN
- SHEET 4 GRADING & UTILITIES
- SHEET 5 GENERAL NOTES
- SHEET 6 CIVIL & STRUCTURAL DETAILS
- SHEET 7 STAIRCASE DETAILS



THE DALLES VICINITY MAP
 SCALE: 1" = 100'

UTILITIES:

POWER:

NORTHERN WASCO CO. P.U.D.
 2345 RIVER ROAD,
 THE DALLES, OR. 97058
 PH. (541) 296-2226
 CONTACT: ED ORTEGA

TELEPHONE:

CENTURY LINK
 285 WEBBER STREET,
 THE DALLES, OR. 97058
 PH. (541) 296-3449
 CONTACT: DAVE JOHNSON

FIRE PROTECTION:

MID-COLUMBIA FIRE AND RESCUE
 1400 WEST 8TH STREET
 THE DALLES, OREGON 97058
 PH. (541) 296-8445
 CONTACT: DAN HAMMEL, FIRE MARSHAL

GAS:

NW NATURAL
 1125 BARDEWAY ROAD
 THE DALLES, OR. 97058
 PH. (541) 296-2228
 CONTACT: TONYA BRUMLEY

WATER:

CITY OF THE DALLES,
 PUBLIC WORKS DEPT.
 1215 W. 1ST STREET
 THE DALLES, OR. 97058
 PH. (541) 506-8021
 CONTACT: DALE MCCABE, CITY ENGINEER

OWNER:

NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21
 2000 W. 2ND STREET
 THE DALLES
 PH. (541) 506-3430
 CONTACT: DENNIS WHITEHOUSE,
 OPERATIONS DIRECTOR

TELEVISION:

CHARTER COMMUNICATIONS, INC.
 409 UNION STREET
 THE DALLES, OR. 97058
 PH. (541) 296-1146
 CONTACT: DAN WALLACE

BUILDING OFFICIAL:

MCCOY BUILDING CODES AGENCY
 1113 KELLY AVENUE
 THE DALLES, OREGON 97058
 PH. (541) 296-4461
 CONTACT: ROBERT FUTTER,
 BUILDING OFFICIAL

STREETS:

WASCO COUNTY, PUBLIC WORKS
 2705 E. 2ND STREET
 THE DALLES, OR. 97058
 PH. (541) 506-2846
 CONTACT: MARTY MATHERLY,
 ROADMASTER

PLANNING JURISDICTION:

CITY OF THE DALLES
 COMMUNITY DEVELOPMENT/ PLANNING
 313 COURT ST.
 THE DALLES, OREGON 97058
 PH. (541) 296-5481
 CONTACT: GAWN HERT, PLANNER

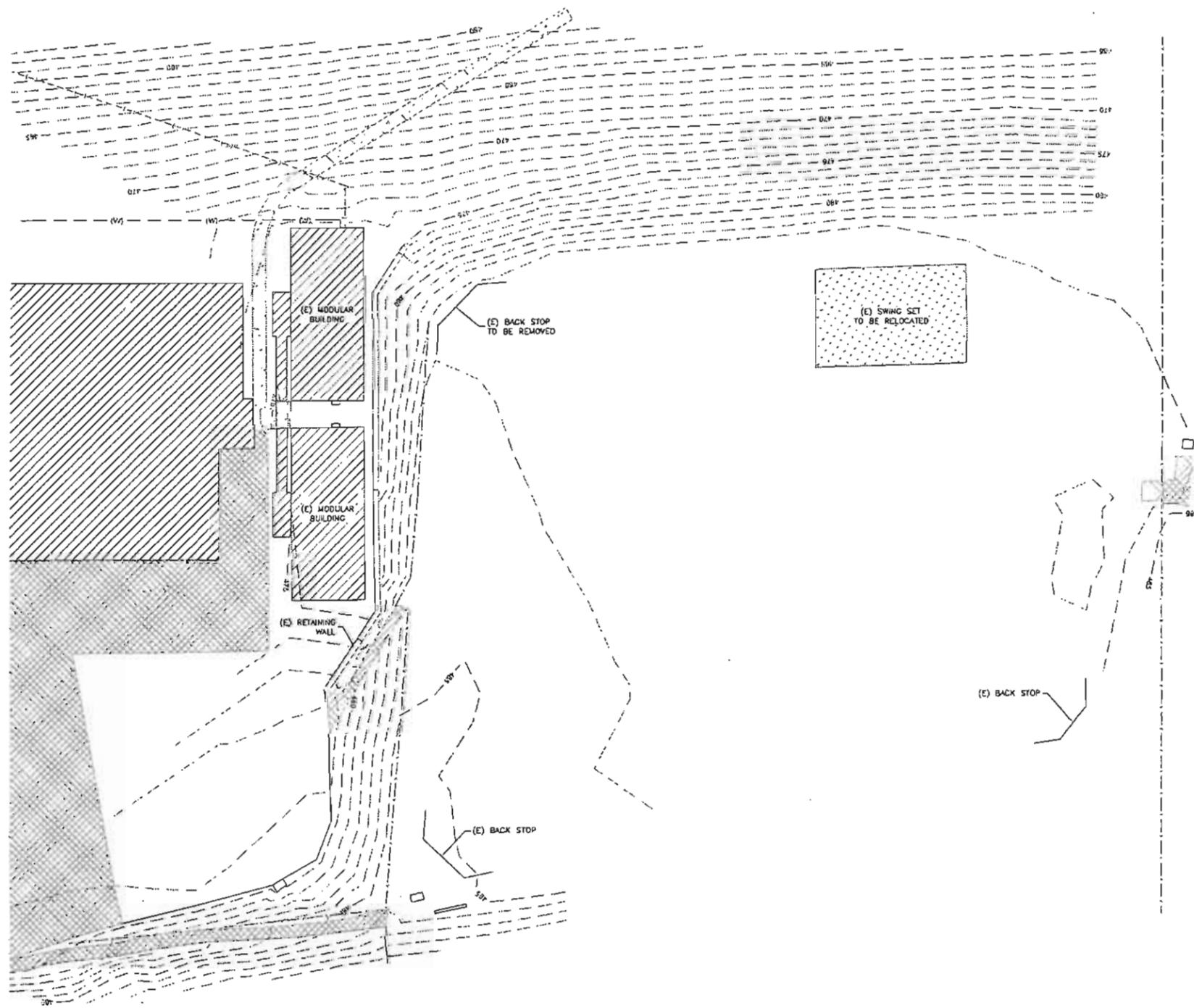
SANITARY SEWER:

CITY OF THE DALLES,
 PUBLIC WORKS DEPT.
 1215 W. 1ST STREET
 THE DALLES, OR. 97058
 PH. (541) 506-2021
 CONTACT: DALE MCCABE, CITY ENGINEER

ENGINEER:

TENNESON ENGINEERING CORP.
 3775 CRATES WAY
 THE DALLES, OR. 97058
 PH. (541) 296-9177
 FAX (541) 296-6657
 BEN BESSIDA (PROJECT MANAGER)
 RILEY SKOV (PROJECT ENGINEER)

COVER SHEET	Design: B.B.B. Survey: T.E.C. DWG. No. K:\ACAD\14268\14268\051E-14268 Date: 2/6/2014 UTM R.S.S. Work Order No. 14268 Scale AS NOTED Plot Date: 2/6/2014
COVER SHEET	FOR NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21 MODULAR ADDITIONS TAX LOT 1N-13E-10 100 THE DALLES, WASCO COUNTY, OREGON Plot Date: 2/6/2014
TENNESON ENGINEERING CORP.	CONSULTING ENGINEERS 3775 CRATES WAY THE DALLES, OREGON 97058 PH. 541-296-9177 FAX 541-296-6657
PRELIMINARY ONLY	IF THE PLAN IS NOT THE BEST THEN ADJUST SCALES ACCORDINGLY
REGISTERED PROFESSIONAL ENGINEER	PRELIMINARY REG. NO. 1778 REG. DATE 12/31/13
COVER SHEET	SHEET 1 7
	Work Order No. 14268



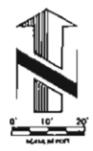
EXISTING CONDITIONS
SCALE: 1" = 20'

LEGEND :

- MANHOLE
 - (-) (E) SAN SEWER
 - SAN --- SAN PROPOSED SAN SEWER
 - (E) STORM SEWER
 - SO --- SO PROPOSED STORM SEWER
 - ▭ CATCH BASIN
 - CLEAN OUT
 - (E) WATER LINE
 - W --- W PROPOSED WATER LINE
 - ⊕ FIRE HYDRANT
 - ⊙ WATER VALVE
 - BLOW-OFF VALVE
 - WM = WATER METER
 - OB --- OB GRADE BREAK
 - C --- C CATCH LINE
 - D --- D DITCH LINE
 - OHE --- OHE OVERHEAD ELECTRIC POWER LINE
 - UE --- UE UNDERGROUND ELECTRIC POWER LINE
 - ⊙ (E) POWER POLE
 - (E) FENCE LINE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ POWER TRANSFORMER
 - ⊕ EM = ELECTRIC METER
 - ⊕ GAS METER
 - (E) CONTOUR LINE
 - (E) INDEX CONTOUR LINE
 - 100 --- 100 PROPOSED F.C. INDEX CONTOUR LINE
 - 100 --- 100 PROPOSED F.C. CONTOUR LINE
- NOTE : ALL OTHERS AS NOTED ON PLAN

HATCH LEGEND :

- ▨ PROPOSED LANDSCAPING
- ▨ EXISTING CONCRETE
- ▨ EXISTING GRAVEL
- ▨ EXISTING ASPHALT
- ▨ EXISTING BUILDING
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED GRAVEL
- ▨ PROPOSED ASPHALT



Design	B.B.B.	Survey	T.E.C.
DWG. No.	K:\VCP\14268\14268\DRLE_14268	Drawn	R.S.S.
Date	2/6/2014	Work Order No.	14268
		Scale	AS NOTED

EXISTING CONDITIONS
FOR
NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21
MODULAR ADDITIONS
TAX LOT 1N-13E-TD 100
THE DALLES, WASCO COUNTY, OREGON
Post Date: 2/6/2014

TENNESON ENGINEERING CORP.
CONSULTING ENGINEERS
3775 CRATES WAY
THE DALLES, OREGON 97058
PH. 541-296-9177 FAX 541-296-6657

PRELIMINARY ONLY

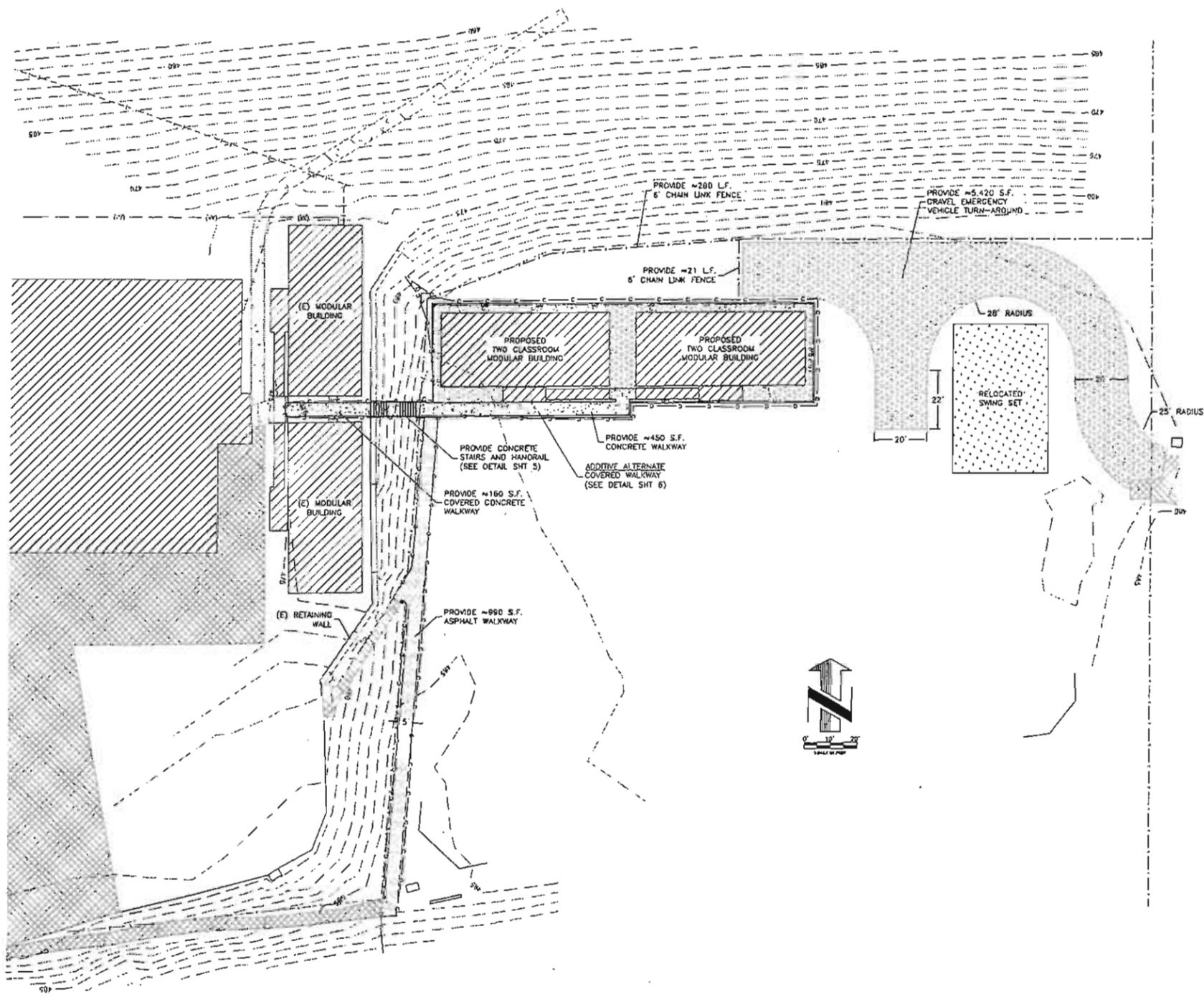
IF THIS SHEET IS NOT THE ORIGINAL, PLEASE ADJUST SCALES ACCORDINGLY



EXISTING

SHEET
2 7

Work Order No.
14268

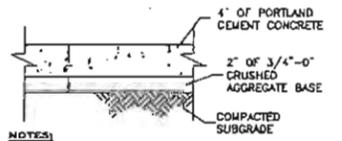


SITE PLAN
SCALE: 1" = 20'

LAND INFO:

TAX LOT 1N-13E-10 100

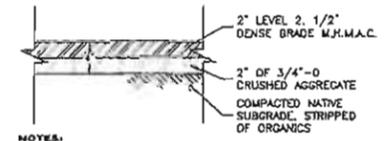
ZONING:	RL (RESIDENTIAL LOW DENSITY) WITH CFO (COMMUNITY FACILITY OVERLAY)	
SIZE:	EXISTING	13.82 ACRES (593,287 S.F.)
	PROPOSED	13.62 ACRES (583,287 S.F.)
BUILDING:	EXISTING	28 CLASSROOMS (±56,800 S.F.)
	PROPOSED	32 CLASSROOMS (±60,725 S.F.)
PAVEMENT:	EXISTING	±85,600 S.F. (INCLUDES PLAYGROUND)
	PROPOSED	890 S.F.
PARKING SPACES:	EXISTING	53
	REQUIRED	48 (1.5 SPACES/CLASSROOM)
	PROPOSED	NONE
LANDSCAPING:	PROPOSED	NONE
	REQUIRED	NONE (NO PARKING LOT IMPROVEMENTS)



NOTES:

- AGGREGATE TO BE COMPACTED TO 95% OF OPTIMUM DENSITY (ASTM D-698)
- CONTRACTOR TO VERIFY SECTION WITH STRUCTURAL ENGINEER/ARCHITECT

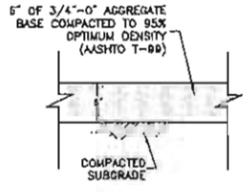
CONCRETE SIDEWALK SECTION



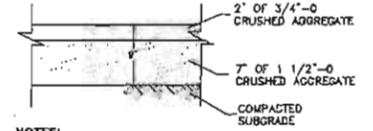
NOTES:

- ASPHALT TO BE COMPACTED TO 91% OF RICE DENSITY.
- AGGREGATE TO BE COMPACTED TO 95% OF OPTIMUM DENSITY (ASTM D-698)

ASPHALT WALKWAY SECTION



BUILDING PAD GRAVEL SECTION



NOTES:

- AGGREGATE TO BE COMPACTED TO 95% OF OPTIMUM DENSITY (ASTM D-698)

VEHICLE TURN-AROUND GRAVEL SECTION

NOTE: SEE SHEET 2 FOR LEGEND

Survey	T.E.C.
Design	B.B.B.
DWG. No.	14268
Date	2/26/2014
Track Order No.	14268
Scale	AS NOTED

SITE PLAN

FOR
NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21
MODULAR ADDITIONS
TAX LOT 1N-13E-10 100
THE DALLES, WASCO COUNTY, OREGON
Proj. Date: 2/26/2014

TENNESON ENGINEERING CORP.
CONSULTING ENGINEERS
3775 CRATES WAY
THE DALLES, OREGON 97058
PH. 541-296-8177 FAX 541-296-6657

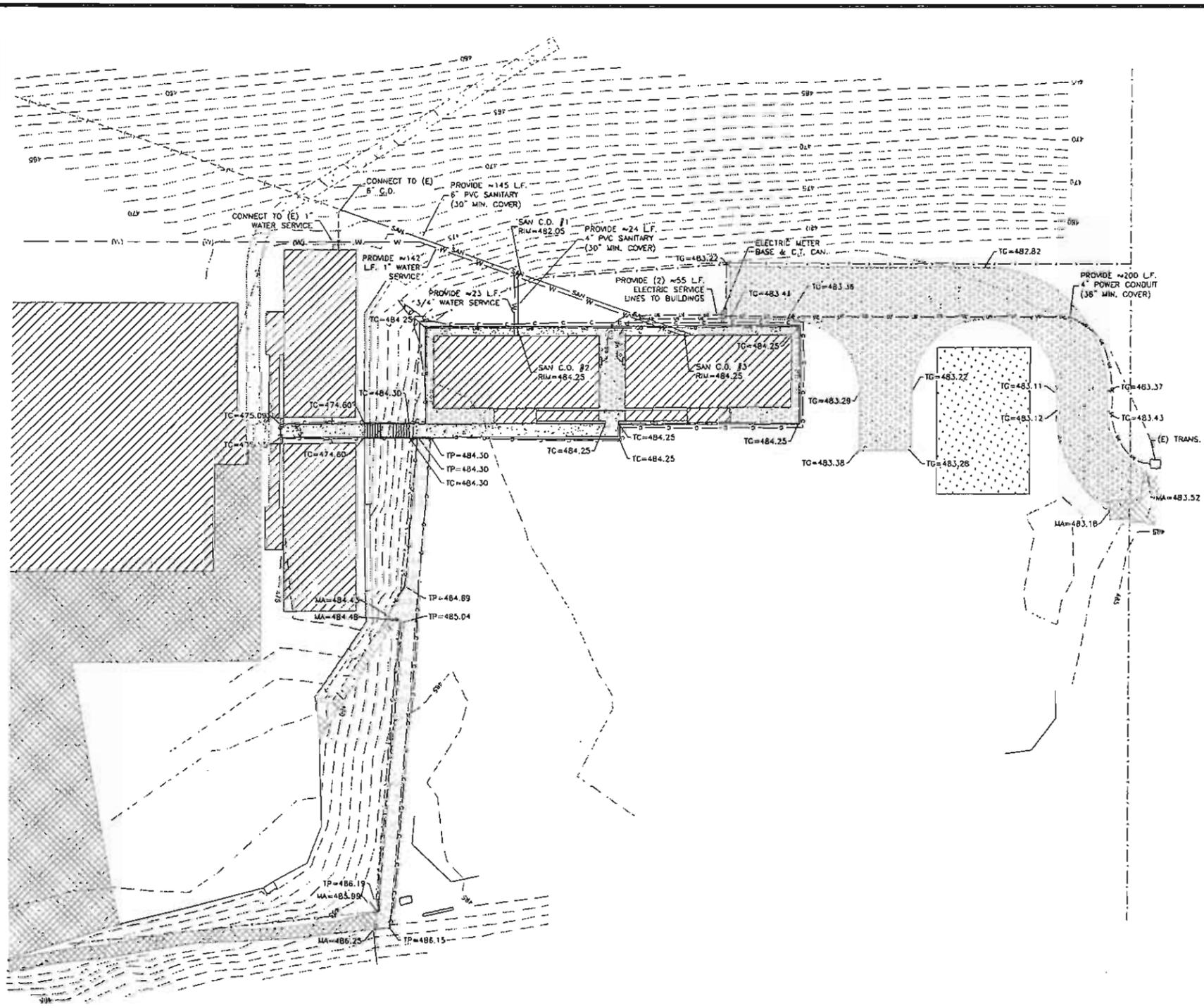
PRELIMINARY ONLY

REGISTERED PROFESSIONAL ENGINEER
STATE OF OREGON
NO. 1773
RENEWAL DATE: 12/31/13

SITE

SHEET
3 7

Work Order No.
14268



GENERAL NOTES:

1. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 509 OF OREGON LAWS 1987, AND AS ADDED TO ORS CHAPTER 757, REGARDING UNDERGROUND UTILITIES. NO EXCAVATION SHALL BE PERFORMED WITHOUT PROPER NOTIFICATION OF UTILITIES.
2. DEVELOPED AREAS SHALL BE PROPERLY PREPARED INCLUDING ANY SURFACE SOIL LOOSENEED AS A RESULT OF CLEARING AND GRUBBING SHALL BE REMOVED OR REDCOMPACTED.
3. FILLS SHALL BE PLACED IN DRY WEATHER WITH PROPER CONTROLS ON MOISTURE AND COMPACTION. FILLS SHALL BE PLACED IN THIN LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) WITHIN THE GRAVEL/BUILDING SECTION. ALL FILLS OUTSIDE THESE LIMITS SHALL BE COMPACTED TO 90 PERCENT OF THE MAXIMUM DRY DENSITY. THE THICKNESS OF THE LIFTS WILL NEED TO BE DETERMINED IN THE FIELD, AS A GENERAL RULE FOR SELF PROPELLED COMPACTORS, THE LIFTS SHALL NOT EXCEED 8 INCHES AS MEASURED IN A LOOSE CONDITION. FOR SMALL HAND COMPACTORS, THE LIFTS SHALL BE REDUCED TO 4-5 INCHES LOOSE MATERIAL.
4. CONTRACTOR SHALL BE LICENSED WITH THE CONSTRUCTION CONTRACTOR BOARD AS REQUIRED BY ORS 371.350.
5. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO STREET CUT, SIDEWALK/DRIVEWAY APPROACH PERMITS, PHYSICAL CONSTRAINTS, CITY RIGHT OF WAY CONSTRUCTION PERMITS, AND WASCO COUNTY UTILITY PERMITS PRIOR TO START OF WORK.
6. OWNER TO ARRANGE A PRE-CONSTRUCTION MEETING PRIOR TO START OF WORK WITH THE CONTRACTOR, ENGINEER, CITY ENGINEER AND COUNTY ROADMASTER.
7. CONTRACTOR TO PROTECT EXISTING ASPHALT ROADWAY ON PROJECT FRONTAGE. ANY DAMAGED ASPHALT TO BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
8. GRADE LANDSCAPING AREAS TO BE 4" BELOW BUILDING SIDING AND 1" BELOW TOP OF SIDEWALK.
9. CURB GRADES ARE TO BE STRAIGHT LINE BETWEEN ELEVATIONS PROVIDED. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO GRADES TO AVOID SHARP BREAKS WHILE MAINTAINING PROPER DRAINAGE.
10. CONTRACTOR TO NOTIFY DESIGN ENGINEER, CITY ENGINEER AND WASCO COUNTY ROAD DEPT. PRIOR TO PLACEMENT OF CURBS TO ALLOW INSPECTION OF FORMS FOR VERIFICATION OF GRADE AND DRAINAGE.

EARTHWORK VOLUMES:

CUT: 5 CY
 FILL: 161 CY
 NET: 156 CY BORROW

*VOLUMES CALCULATED TO FINISH GRADE AND DO NOT INCLUDE EXCAVATION FOR UTILITY TRENCHING, FOOTINGS, BASE ROCK, PAVING, ETC.

NOTES:

1. TC = TOP OF CONCRETE
2. TP = TOP OF PAVEMENT
3. TG = TOP OF GRAVEL
4. MA = MATCH
5. FF = FINISH FLOOR
6. FG = FINISH GRADE
7. FINISH GRADE CONTOURS ARE SHOWN AT 1.0 FOOT INTERVALS.



GRADING & UTILITIES
 SCALE: 1" = 20'

NOTE: SEE SHEET 2 FOR LEGEND

Design	B.B.B.	Survey	T.E.C.
Drawn	R.S.S.	Scale	AS NOTED
Work Order No.	14268	Proj. No.	2/2/2014
GRADING & UTILITIES			
FOR NORTH WASCO COUNTY SCHOOL DISTRICT NO. 21 MODULAR ADDITIONS TAX LOT 1N-13E-10 TDD THE DALLES, WASCO COUNTY, OREGON Proj. No. 2/2/2014			
TENNESON ENGINEERING CORP.			
CONSULTING ENGINEERS 3775 CRATES WAY THE DALLES, OREGON 97958 PH. 541-296-9177 FAX 541-296-6657			
PRELIMINARY ONLY			
GRADE-UTILITY			
SHEET 4 7			
Work Order No. 14268			

GENERAL NOTES

- 1) CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES...
2) CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES...
3) CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES...

EXISTING UTILITIES & FACILITIES

- 1) THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS...
2) UPON COMPLETION OF CONSTRUCTION OF ALL NEW FACILITIES...
3) THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES...
4) THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY...
5) THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH...
6) THE CONTRACTOR SHALL REMOVE ALL EXISTING SIGNS...
7) ANY PUBLIC TANKS ENCOUNTERED SHALL BE REPAIRED AND EXPANDED...
8) CONTRACTOR SHALL COORDINATE AND PAY ALL COSTS ASSOCIATED...
9) CONTRACTOR SHALL COORDINATE AND PAY ALL COSTS ASSOCIATED...
10) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CONSENTS...

CURBS & SIDEWALKS

- 1) UNLESS OTHERWISE SHOWN OR INDICATED ON THE DRAWINGS...
2) CONTRACTOR SHALL CONSTRUCT HANDICAP RAMP AS AT ALL INTERSECTIONS...
3) SIDEWALK TO BE INSTALLED AS INDIVIDUAL LOTS ARE DEVELOPED...
4) SIDEWALKS SHALL BE A MINIMUM OF 4'-0" WIDE...
5) WHEN TRENCH EXCAVATION REQUIRES REMOVAL OF P.C. CURBS...

GRADING, PAVING & DRAINAGE

- 1) UNLESS OTHERWISE NOTED, ALL GRADING, ROADING AND PAVING TO CONFORM...
2) CLEAR AND GRUB WITHIN WORK LIMITS ALL SURFACE VEGETATION...
3) STRIP WORK LIMITS, EXCEPT ALL ORGANIC MATTER...
4) ALL FILLS SHALL BE ENGINEERED EXCEPT FOR FILLS LESS THAN 18-INCHES...
5) FINISH PAVEMENT GRADES AT TRANSITION IN EXISTING PAVEMENT...
6) ALL EXISTING OR CONSTRUCTED MANHOLES, CLEANOUTS, WORKHOLES...
7) UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO CUT OR FILL SLOPES...
8) CONTRACTOR SHALL SEED AND MULCH ALL EXPOSED SLOPES...

TESTING AND INSPECTION

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED OR NECESSARY...
2) UNLESS OTHERWISE SPECIFIED, THE FOLLOWING TABLE OUTLINES THE MINIMUM...
3) UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC...
4) ALL PRECAST MANHOLES SHALL BE PROVIDED WITH INTEGRAL RUBBER BOOTS...

Table with 3 columns: Test Name, Frequency, and Remarks. Includes sections for PAVED UTILITIES, WATER, SANITARY SEWER, and STORM.

PIPED UTILITIES

- 1) ALL LAPPING OF EXISTING MUNICIPAL SANITARY SEWER, STORM DRAIN MANHOLE AND MANHOLES...
2) UNDER FUTURE STREETS OR SIDEWALKS, USE CLASS "B" (1/4" MINUS AGGREGATE)...
3) STRIP WORK LIMITS, EXCEPT ALL ORGANIC MATTER...
4) CONTRACTOR SHALL ARRANGE TO ABANDON EXISTING SEWER AND WATER SERVICES...
5) ALL PIPED UTILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS...
6) THE END OF ALL UTILITY LINES SHALL BE MARKED WITH A 2X4 COLOR CODED...
7) ALL NON-METALLIC WATER, SANITARY AND STORM SEWER PIPING...
8) CONTRACTOR TO MAKE HOLE ADJUSTMENT TO SERVICE LOCATIONS...
9) NO TRENCHES IN ROADS OR DRIVEWAYS SHALL BE LEFT IN AN OPEN...
10) SANITARY SEWER LATERALS TO BE RUN TO EDGE OF ROAD AT 1/4" PER 11'...
11) CONTRACTOR TO MAKE HOLE ADJUSTMENT TO SERVICE LOCATIONS...
12) UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO CUT OR FILL SLOPES...

WATER SYSTEM (CITY OF THE DALLES)

- 1) CITY FORCES TO OPERATE ALL VALVES INCLUDING FIRE HYDRANTS...
2) ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 35...
3) MATERIALS THAT COME INTO CONTACT WITH POTABLE WATER...
4) ALL WATER MAINS TO BE INSTALLED WITH A MINIMUM 36 INCH COVER...
5) UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC...
6) ALL PRECAST MANHOLES SHALL BE PROVIDED WITH INTEGRAL RUBBER BOOTS...
7) CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND MATERIALS...
8) THE WORK SHALL BE PERFORMED IN A MANNER DESIGNED TO MAINTAIN WATER SERVICE...

SANITARY SEWER SYSTEM

- 1) UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC...
2) ALL PRECAST MANHOLES SHALL BE PROVIDED WITH INTEGRAL RUBBER BOOTS...
3) OPENINGS FOR CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE...
4) PER ODE/DOE REQUIREMENTS, CONTRACTOR SHALL HAVE PUBLIC SEWER...
5) CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT...
6) MANHOLES CONSTRUCTED OVER EXISTING SANITARY SEWERS...
7) PRIOR TO HANDING, TESTING AND/OR INSPECTION, FLUSH AND CLEAN...
8) CONTRACTOR SHALL CONDUCT COLLECTION TESTS OF FLEETABLE SANITARY SEWER...
9) UPON COMPLETION OF ALL SEWER CONSTRUCTION, TESTING AND REPAIR...
10) UPON COMPLETION OF ALL SEWER CONSTRUCTION, TESTING AND REPAIR...

STORM DRAIN SYSTEM

- 1) STORM SEWER PIPE MATERIALS TO CONFORM TO THE CONSTRUCTION...
2) CONTRACTOR SHALL DESIGNATE THE PIPE MATERIAL ACTUALLY INSTALLED...
3) CATCH BASINS SHALL BE SET SQUARE WITH BUILDINGS OR WITH THE EDGE...
4) UNLESS OTHERWISE APPROVED BY THE ENGINEER, ALL STORM DRAIN...
5) PRIOR TO HANDING, TESTING OR FINAL ACCEPTANCE, FLUSH AND CLEAN...
6) CONTRACTOR SHALL CONDUCT DEFLECTION TEST OF FLEETABLE STORM SEWER...
7) CATCH BASIN LATERALS ARE TO BE "TIED" INTO THE MAIN...
8) ALL MANHOLE DEEPS SHALL BE CONSTRUCTED WITH FLOW THROUGH DRAWINGS...

Table with 2 columns: COVER DEPTH and PIPE SPECIFIED FOR LESSER COVER DEPTH. Lists pipe specifications for different cover depths.

STREET LIGHTS

- 1) STREET LIGHTS SHALL BE INSTALLED AFTER ALL OTHER CONSTRUCTION...
2) STREET LIGHTS POLES SHALL BE SET TO A DEPTH AS SPECIFIED...
3) STREET LIGHT POLES SHALL BE INSTALLED WITH ONE DEGREE (1°) OF PLUMB...
4) CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND PAY ALL COSTS...

PRIVATE UTILITIES

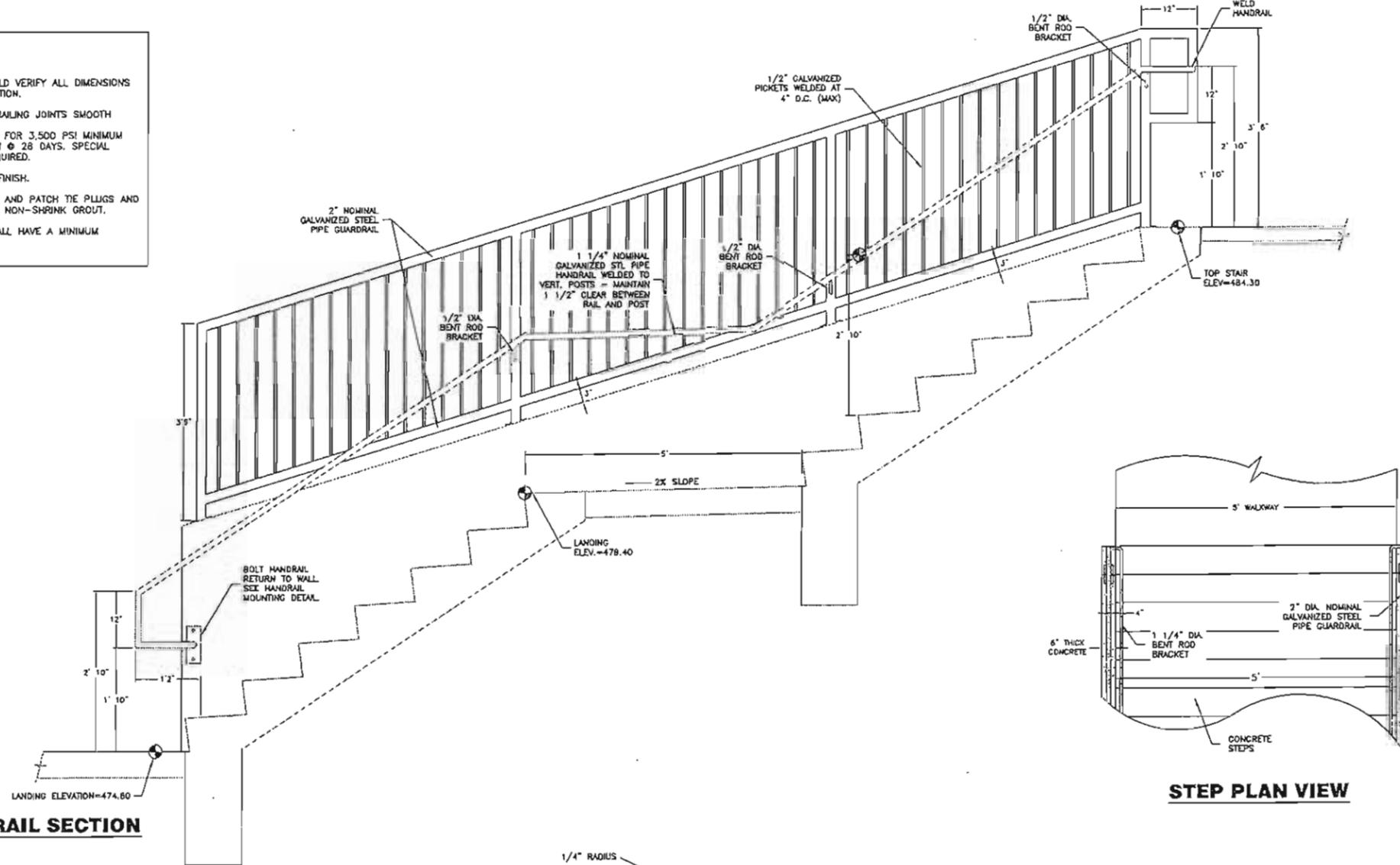
- 1) UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR APPROVED BY JURISDICTION...
2) POWER, TELEPHONE AND CABLE PIPING AND CONDUIT SHALL BE INSTALLED...
3) CONTRACTOR SHALL NOTIFY AND COORDINATE WITH PRIVATE UTILITY...
4) ALL PRIVATE UTILITY STRUCTURES (VALVES, FEEDSTALL, LIGHT POLES, ETC.)...

GENERAL NOTES FOR NORTH WASCOCO COUNTY SCHOOL DISTRICT NO. 21. Includes project information, design details, and a large 'NOTES' section with sheet number 5 of 7.

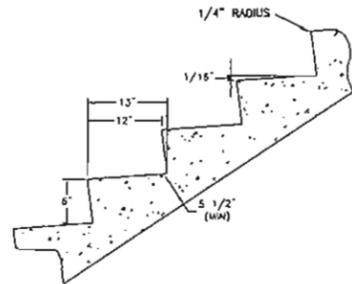
NOTE: SEE SHEET 2 FOR LEGEND

NOTES:

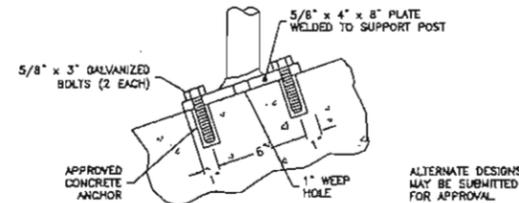
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO RAIL FABRICATION.
2. WELD AND GRIND ALL RAILING JOINTS SMOOTH
3. CONCRETE IS DESIGNED FOR 3,500 PSI MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS. SPECIAL INSPECTION IS NOT REQUIRED.
4. FINISH WITH BROOMED FINISH.
5. REMOVE ALL FORM TIES AND PATCH THE PLUGS AND ANY COLD-JOINT WITH NON-SHRINK GROUT.
6. REINFORCING STEEL SHALL HAVE A MINIMUM CLEARANCE OF 2 1/2".



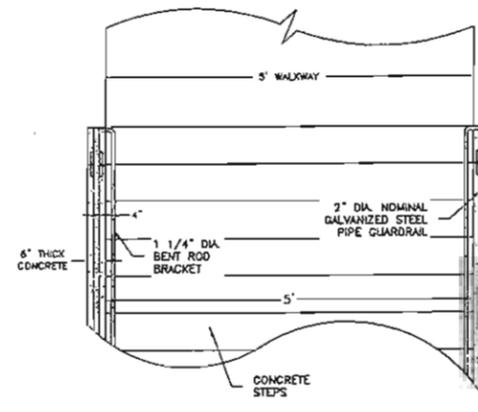
HANDRAIL SECTION



STEP DETAIL



HANDRAIL MOUNTING DETAIL



STEP PLAN VIEW

CIVIL DETAILS FOR NORTH WASCOCO COUNTY SCHOOL DISTRICT NO. 21 MODULAR ADDITIONS TAX LOT 14-13E-10 1DD THE DALLES, WASCOCO COUNTY, OREGON Plot No. 2/8/2014	Design: B.B.B. DWG. No. K:\CAD\14200\14200\14200\OSTE_14208	Survey: T.E.C. Drawn: R.S.S. Scale: AS NOTED
	Date: 2/5/2014 Work Order No. 14268	Design: B.B.B. DWG. No. K:\CAD\14200\14200\14200\OSTE_14208
TENNESON ENGINEERING CORP. CONSULTING ENGINEERS 3775 CRATES WAY THE DALLES, OREGON 97058 PH. 541-296-9177 FAX 541-296-6657		
PRELIMINARY ONLY IF THIS DRAWING IS NOT ONE AND A HALF INCHES WIDE, THEN ADJUST SCALES ACCORDINGLY		
REGISTERED PROFESSIONAL ENGINEER OREGON PRELIMINARY R. S. S. RENEWAL DATE: 12/31/13		
DETAILS SHEET 7 7 Work Order No. 14268		

RESOLUTION NO. P.C. 537-14

Adopting Conditional Use Permit Application #172-14 of North Wasco County School District #21 to gain approval for the installation of two additional modular buildings. The property is located at 922 Chenoweth Loop Road West, The Dalles, Oregon, and is further described as Township 2 North, Range 13 East, Map 29 C, tax lot 400. Property is zoned “RL/CFO” – Residential Low Density District with a Community Facility Overlay.

I. RECITALS:

- A. The Planning Commission of the City of The Dalles has on March 6, 2014 conducted a public hearing to consider the above request. A staff report was presented, stating the findings of fact, conclusions of law, and a staff recommendation.
- B. Staff’s report of Conditional Use Permit #172-14 and the minutes of the March 6, 2014 Planning Commission meeting, upon approval, provides the basis for this resolution and are incorporated herein by reference.

II. RESOLUTION:

Now, therefore, be it FOUND, DETERMINED, and RESOLVED by the Planning Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part “I” of this resolution. CUP #172-14 is hereby approved with the following conditions of approval:
 - 1. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWPAs standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
 - 2. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
 - 3. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
 - 4. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
 - 5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
 - 6. Applicant will need to be sure that the new structures are not located over existing gas lines that serve the property. Contractor should call for a locate prior to any excavation.
 - 7. Details of the parking spaces and bicycle spaces will need to be provided to ensure that the site contains parking to meet the code requirements. Applicant needs to show that the number of existing parking spaces meets code requirements. For elementary schools the minimum number of automobile parking spaces is 1.5 spaces per classroom. The bicycle parking requirement is 5 spaces per classroom.
 - 8. If new lighting is planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average

- horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
9. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond allowable levels as determined by local, state, and federal standards shall not be allowed.
 10. If the parking lot changes 10% or more, it will be required to be brought up to the current standards and require the installation of a storm water pre-treatment device. A maintenance agreement will be required for any required oil/water separators and must be on file with the City. The applicant/owner must also submit annual reports to the City.
 11. Exterior elevation drawings will be required showing that the modular structures meet the design guidelines as stated in the LUDO.
 12. Building permits will be required for each structure. System Development Charges will be assessed at that time.
 13. Sidewalks will be required to be installed along the immediate frontage of the Elementary School as shown on the Site Plan. A sidewalk permit will be required by both the City and the County.
 14. Pedestrian access from the public sidewalk to the main building will be required with the installation of the new public sidewalk.

III. APPEALS, COMPLIANCE, AND PENALTIES:

- A. Any party of record may appeal a decision of the Planning Commission to the City Council for review. Appeals must be made according to Section 3.020.080 of the Land Use and Development Ordinance, and must be filed with the City Clerk within ten (10) days of the date of mailing of this resolution.
- B. Failure to exercise this approval within the time limits set either by resolution or by ordinance will invalidate this permit.
- C. All conditions of approval must be met within the time limits set by this resolution or by ordinance. Failure to meet any condition will prompt enforcement proceedings that can result in: 1) permit revocation; 2) fines of up to \$500.00 per day for the violation period; 3) a civil proceeding seeking injunctive relief.

The Secretary of the Commission shall (a) certify to the adoption of the Resolution; (b) transmit a copy of the Resolution along with a stamped approved/denied site plan or plat to the applicant.

APPROVED AND ADOPTED THIS 6TH DAY OF MARCH, 2014.

Bruce Lavier, Chairman
Planning Commission

I, Richard Gassman, Planning Director for the City of The Dalles, hereby certify that the foregoing Resolution was adopted at the regular meeting of the City Planning Commission, held on the 6th day of March, 2014.

AYES:

NAYS:

ABSENT:

ABSTAIN:

ATTEST: _____
Richard Gassman, Planning Director
City of The Dalles

RESOLUTION NO. P.C. 538-14

Adopting Conditional Use Permit Application #173-14 of North Wasco County School District #21 to gain approval for the installation of two additional modular buildings. The property is located at 1314 East 19th Street, The Dalles, Oregon, and is further described as Township 1 North, Range 13 East, Map 10, tax lot 100. Property is zoned “RL/CFO” – Residential Low Density District with a Community Facility Overlay.

I. RECITALS:

- A. The Planning Commission of the City of The Dalles has on March 6, 2014 conducted a public hearing to consider the above request. A staff report was presented, stating the findings of fact, conclusions of law, and a staff recommendation.
- B. Staff’s report of Conditional Use Permit #173-14 and the minutes of the March 6, 2014 Planning Commission meeting, upon approval, provide the basis for this resolution and are incorporated herein by reference.

II. RESOLUTION:

Now, therefore, be it FOUND, DETERMINED, and RESOLVED by the Planning Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part “I” of this resolution. CUP #173-14 is hereby approved with the following conditions of approval:
 - 1. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWPAs standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
 - 2. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
 - 3. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
 - 4. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
 - 5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
 - 6. Applicant will need to be sure that the new structures are not located over existing gas lines that serve the property. Contractor should call for a locate prior to any excavation.
 - 7. Details of the parking spaces and bicycle spaces will need to be provided to ensure that the site contains parking to meet the code requirements. Applicant needs to show that the number of existing parking spaces meets code requirements. For elementary schools the minimum number of automobile parking spaces is 1.5 spaces per classroom. The bicycle parking requirement is 5 spaces per classroom.
 - 8. If new lighting is planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average

- horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
9. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond allowable levels as determined by local, state, and federal standards shall not be allowed.
 10. If the parking lot changes 10% or more, it will be required to be brought up to current standards and require the installation of a storm water pre-treatment device. A maintenance agreement will be required for any required oil/water separators and must be on file with the City. The applicant/owner must also submit annual reports to the City.
 11. Exterior elevation drawings will be required showing that the modular structures meet the design guidelines as stated in the LUDO.
 12. Building permits will be required for each structure. System Development Charges will be assessed at that time.
 13. North Wasco County School District #21 to provide a traffic and improvement plan that addresses the pedestrian, vehicular drop off and parking issues that exist and will be created with the addition of the two new modular buildings. The plan will need to be submitted within one year of the approval of this application and provide options and timings of necessary improvements to ensure the safety of the children that are walking to, or being dropped-off/picked-up at Dry Hollow Elementary.

III. APPEALS, COMPLIANCE, AND PENALTIES:

- A. Any party of record may appeal a decision of the Planning Commission to the City Council for review. Appeals must be made according to Section 3.020.080 of the Land Use and Development Ordinance, and must be filed with the City Clerk within ten (10) days of the date of mailing of this resolution.
- B. Failure to exercise this approval within the time limits set either by resolution or by ordinance will invalidate this permit.
- C. All conditions of approval must be met within the time limits set by this resolution or by ordinance. Failure to meet any condition will prompt enforcement proceedings that can result in: 1) permit revocation; 2) fines of up to \$500.00 per day for the violation period; 3) a civil proceeding seeking injunctive relief.

The Secretary of the Commission shall (a) certify to the adoption of the Resolution; (b) transmit a copy of the Resolution along with a stamped approved/denied site plan or plat to the applicant.

APPROVED AND ADOPTED THIS 6TH DAY OF MARCH, 2014.

Bruce Lavier, Chairman
Planning Commission

I, Richard Gassman, Planning Director for the City of The Dalles, hereby certify that the foregoing Resolution was adopted at the regular meeting of the City Planning Commission, held on the 6th day of March, 2014.

AYES:

NAYS:

ABSENT:

ABSTAIN:

ATTEST: _____
Richard Gassman, Planning Director
City of The Dalles