



## CITY of THE DALLES

313 COURT STREET  
THE DALLES, OREGON 97058

(541) 298-5481 ext. 1125  
Planning Department

### AGENDA CITY OF THE DALLES PLANNING COMMISSION

CITY HALL COUNCIL CHAMBERS

313 COURT SREET

THE DALLES, OREGON 97058

*CONDUCTED IN A HANDICAP ACCESSIBLE MEETING ROOM*

**THURSDAY, MAY 7, 2015**

**6:00 PM**

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES – April 2, 2015
- V. PUBLIC COMMENT (Items not on the Agenda)
- VI. **QUASI-JUDICIAL HEARING**  
**Application Number: CUP 174-15; FFA Architects+Interiors/The Dalles Wasco County Library; Request:** Application to gain approval for the construction of a one-story, 2,300 s.f. addition to the existing Dalles-Wasco County Library. The property is located at 722 Court Street, The Dalles, Oregon and is further described as 1N 13E 3CB t.l. 800. Property is zoned “CBC” – Central Business Commercial.
- VII. RESOLUTION – P.C. Resolution #542-15; CUP 174-15; The Dalles Wasco County Library
- VIII. PRESENTATION – Northern Wasco School District #21; Update on options for Dry Hollow Elementary School student drop off/pick-up zone – Dennis Whitehouse
- IX. STAFF COMMENTS
- X. COMMISSIONER COMMENTS/QUESTIONS
- XI. FUTURE MEETING – May 21, 2015
- XII. ADJOURNMENT

**CITY OF THE DALLES PLANNING COMMISSION MINUTES**

**Thursday, April 2, 2015**  
City Hall Council Chambers  
313 Court Street  
The Dalles, OR 97058  
*Conducted in a handicap accessible room*  
6:00 PM

**CALL TO ORDER:**

Chair Lavier called the meeting to order at 6:00 PM.

**BOARD MEMBERS PRESENT:**

Bruce Lavier, Mark Poppoff, John Nelson, Jeff Stiles, Dennis Whitehouse

**BOARD MEMBERS ABSENT:**

Chris Zukin, Sherry DuFault

**STAFF MEMBERS PRESENT:**

Planning Director Richard Gassman, Administrative Secretary Carole Trautman

**APPROVAL OF AGENDA:**

It was moved by Nelson and seconded by Stiles to approve the agenda as submitted. The motion carried unanimously.

**APPROVAL OF MINUTES:**

A typographical error was noted by Nelson on page 3, third sentence. Change the word "inn" to "in." It was moved by Whitehouse and seconded by Stiles to approve the March 5, 2015 minutes as amended. The motion carried unanimously.

**PUBLIC COMMENT:**

None.

**LEGISLATIVE HEARING (continued):**

**Application Number:** ZOA 87-14; **City of The Dalles;** **Request:** Amendments to the Land Use and Development Ordinance regarding sign codes.

City Attorney Parker submitted two changes as follows:

- **Section E. 2:** This is a new section and should be considered subsection C.
- **Section E. 3:** Delete the word "all"

Nelson asked for clarification on several of the proposed changes. Gassman clarified as follows:

- **Section A. 5** (of staff report): Framed Signs - Gassman said that historically movable signs (signs that are not affixed to a permanent base material such as a banner or a flag sign) have not been allowed other than as a temporary sign. The sign industry now has more durable and substantial material for temporary signs/banners. The Sign Committee, Gassman said, expanded the definition of a framed sign to include any type of material that was placed within a rigid border that would prevent the sign from moving. Gassman explained that if such a sign could be included in a business' allotted sign allowance, then the framed sign would be considered a permanent sign. If not within sign allowance maximum, it would be considered a 90-day temporary sign. The sign industry also developed a framed border to allow for interchangeable text, almost like a reader board.
- **Section B. 7:** "similar to ODOT regulations" The proposed language change would be added at the end of the entire regulation.
- **Section C. 1:** "regular sign allowance" The definition is the maximum amount of square footage allowed on a building front. Under the current code, only one temporary sign was allowed. With the proposed changes, businesses on a corner would be allowed on each street frontage.
- **Section D. 1:** The words "indecent" or "obscene" would be deleted because City Attorney Parker advised it was unenforceable.
- **Section D. 4:** Cross out the words "sign that," and change to "sign which." This section becomes a new Item H, and the old H becomes I.
- **Section E. 5:** This language would become a new section. Gassman said it would most likely become an item A, and other items thereafter would be alphabetically re-lettered from this new item.

Director Gassman summarized the changes. Item E. 2: this new section should be labeled subsection C. Item E. 3: delete the word "all." Item D. 4: delete a couple of words, and on item D. 5: assign the new language as item A and re-letter the remaining sections alphabetically.

It was moved by Nelson and seconded by Whitehouse to approve the proposed LUDO changes, including changes noted by City Attorney Parker and Commissioner Nelson. The motion carried unanimously; Zukin and DuFault absent.

**STAFF COMMENTS:**

The Dalles Wasco County Library architectural firm is working on expansion plans, Director Gassman reported. The expansion will be a conditional use permit review, because one was never done.

**COMMISSIONER COMMENTS:**

Whitehouse offered to present a brief report at the next Planning Commission meeting on the options for the drop off/pick up area at Dry Hollow School located at 1314 East 19<sup>th</sup> Street, The Dalles, Oregon.

**NEXT MEETING:**

April 16, 2015

**ADJOURNMENT:**

Chair Lavier adjourned the meeting at 6:25 PM.

Respectfully submitted by Administrative Secretary Carole Trautman

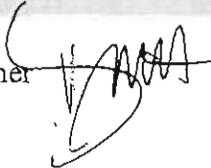
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Bruce Lavier, Chairman

# City of The Dalles STAFF REPORT

Conditional Use Permit No. 174-15

**FFA Architecture+Interiors – The Dalles-Wasco County Library**

Prepared by: Dawn Marie Hert, Senior Planner 

Procedure Type: Quasi-Judicial

Hearing Date: May 7, 2015

Assessor's Map: 1N 13E 3CB, tax lot 800

Address: 722 Court Street

Comprehensive Plan  
Designation: "RH" High Density Residential District with a  
"NC" Neighborhood Center Overlay

Zoning District: "RH" Low Density Residential District with a  
"NC" Neighborhood Center Overlay

City Limits: Inside

Request: To site and construct a one-story, 2,300 square foot addition to the existing Dalles-Wasco County Library. The addition will include a reading room, book collection area, and a children's activity area.

## BACKGROUND INFORMATION

The subject property is located at 722 Court Street and has been the location of the public library since 1965.

Libraries are, by definition, community facilities. Such a change to the site requires a Conditional Use Permit. This staff report will include both the Conditional Use Permit review, as well as a Site Plan Review.

## NOTIFICATION

Property owners within 300 feet, City Departments, franchise utilities, Mid-Columbia Fire & Rescue, Wasco County Health Department, and State Building Codes were mailed a notice on April 23, 2015, as required by Section 3.020.050 D.

## COMMENTS RECEIVED

**Pre-Application –Site Team.** The application was reviewed by the Site Team members on April 2, 2015. The comments received from that application are included in this staff report.

**Property Owner Comments.** No comments were received as of the date of this report.

**RECOMMENDATION:** Approval, with conditions, based upon the following findings-of-fact.

### A. LAND USE AND DEVELOPMENT ORDINANCE 98-1222:

#### Section 3.010.040 Applications:

##### *Subsection B. Completeness.*

**FINDING A-1:** This application was found to be complete on April 23, 2015. The 120-day State mandated decision deadline is August 21, 2015.

#### Section 3.020.050 Quasi-Judicial Actions:

##### *Subsection A. Decision Types, (1) Site Plan Review; (3) Conditional Use Permits:*

**FINDING A-2:** This application is for a Conditional Use Permit and Site Plan Review as required by Section 5.050.040 (E). The decision criteria listed in this ordinance section is addressed in the body of this staff report.

*Subsection B. Staff Report. The Director shall prepare and sign a staff report for each quasi-judicial action, which identifies the criteria and standards applying to the application and summarizes the basic findings of fact. The staff report may also include a recommendation for approval with conditions, or denial.*

**FINDING A-3:** The staff report will detail criteria and standards relevant to a decision, all facts will be stated, and explanations given. This will be detailed through a series of findings directly related to relevant sections and subsections of the ordinance as they relate to this request.

##### *Subsection C. Public Hearings.*

**FINDING A-4:** The public hearing is scheduled for May 7, 2015.

##### *Subsection D. Notice of Hearing.*

**FINDING A-5:** Appropriate mailings to property owners within 300 feet and notice to affected departments and agencies have been completed.

#### Section 3.050.030 Review Procedures:

*Subsection A. Applications. Conditional Use Permit applications shall be accompanied by at least 15 copies of the concept site plan, and when required, two copies of the detailed landscape and construction/design plans, per the provisions of Section 3.030: Site Plan Review.*

**FINDING A-6:** Copies of the required plans have been submitted.  
Criterion met.

**Section 3.050.040 Review Criteria**

*Subsection A. Permitted Conditional Uses. The proposed use is conditionally permitted in the zone district where it is proposed to be located.*

**FINDING A-7:** Public Libraries are conditionally allowed in the Residential High Density and Neighborhood Center Overlay zones.  
Criterion met.

*Subsection B. Standards. The proposed use conforms to all applicable standards of the zone district where the use is proposed to be located. The proposed use will also be consistent with the purposes of this ordinance, applicable policies of the Comprehensive Plan, and any other statutes, ordinances, or policies that may be applicable.*

**FINDING A-8:** Section 5.010.050 sets out the development standards for the RH zone. The proposed buildings will meet all development standards. Criteria met.

*Subsection C. Impact. The proposed structure(s) and use(s) shall be designed and operated in such a way as to meet the standards of this section. Impacts caused by the construction of the conditional use shall not be considered regarding a decision on the validation of the application.*

*1. Noise impacts across the property line shall not exceed 60 decibels. Noise related to traffic impacts shall not be included in this determination. Nothing in this section shall modify other noise ordinance standards as adopted by the City.*

**FINDING A-9:** The use as a library has been established. The addition should not increase the existing noise generated by the patrons and vehicles that access the site. The traffic impacts generated with this use cannot be used in making a determination. The applicant will be advised of the allowable noise levels.

*2. Lighting impacts across the property line shall not exceed 0.5 foot-candles (a foot-candle is the amount of light falling upon a 1-square-foot surface which is 1 foot away from a 1-candlepower light source.)*

**FINDING A-10:** Additional lighting was not shown on the Site Plan and will be addressed as a condition of approval and is discussed later in this report.

*3. Dust and other particulate matter shall be confined to the subject property.*

**FINDING A-11:** The proposed use would not typically create dust or other particulate matter. All areas of maneuvering for vehicles exist and are a hard surface.

*4. The following odors shall be completely confined to subject property:*

- a. *industrial and/or chemical grade chemicals, solvents, paints, cleaners, and similar substances;*
- b. *fuels, and*
- c. *fertilizers, manure, or other animal waste products, other than for landscape installation and maintenance.*

**FINDING A-12:** The proposed use will not be using any of the listed items that cause odors. This proposal does not indicate that many of these nuisances need to be reviewed in depth for mitigation purposes. Trash receptacles should be sized to fully accommodate the needs of the uses at the site. No outdoor storage of materials or supplies related to this proposed use will be allowed. Criterion can be addressed as a condition of approval.

5. *Vibrations shall not be felt across the property line.*

**FINDING A-13:** The proposed development does not include machinery or equipment that causes vibration. Criterion does not apply.

6. *The transportation system is capable, or can be made capable, of supporting the additional transportation impacts generated by the use. Evaluation factors shall include, but are not limited to:*

- a. *Street designations and capacities; and*
- b. *On-street parking impacts.*

**FINDING A-14:** Access to this parcel is from 7<sup>th</sup> Street, which is a Residential street. The parking lots will not be modified or enlarged with this application. No additional access is being requested, and the parking lots are adequate. Criterion met.

7. *In areas designated as Historic Districts, proposed development and redevelopment shall first require review and approval of the Historic Landmarks Commission in accordance with the procedures of the Historic Resources Ordinance (General Ordinance No. 94-1194.)*

**FINDING A-15:** The subject property is not a historic landmark nor is it located in a National Historic District. Criterion does not apply.

**Site Plan Review - Section 3.030.040 Review Criteria.**

**A. City Ordinance Provisions.** *All the provisions from the applicable City ordinances have been met or will be met by the proposed development.*

**FINDING A-16:** All provisions are met by this proposal, or will be met, as a condition of approval. This will be detailed in the staff report through a series of findings.

**B. Public Facilities Capacity.** *Adequate capacity of City facilities for water, sanitary sewer, storm sewer, and streets and sidewalks can and will be provided to, and were applicable, through, the subject property.*

**FINDING A-17:** Adequate capacity exists for facilities including water, storm sewer, streets and sidewalks. The Dalles Public Works Department has verified this information. Criterion met.

**C. Arrangement of Site Elements.**

*1. Promote pedestrian, bicycle, and vehicular safety and welfare.*

**FINDING A-18:** Pedestrian safety and welfare is promoted by the sidewalks along all property frontages. Existing walkways are provided from the public sidewalk to the main entrance of the building. Existing parking is provided at the front of the building and in the upper parking lot to the east of the Library. Bicycle parking also exists at the library site. Vehicular safety is promoted by having adequate stall and aisle dimensions as well as an improved access point on 7<sup>th</sup> Street.

*2. Preserve and maintain public amenities and significant natural features.*

**FINDING A-19:** There are no known public amenities or significant natural features on this site. Criterion does not apply.

*3. Avoid traffic congestion.*

**FINDING A-20:** The provided on-site parking meets minimum spacing and lane requirements. Access to the parking lots will be via the existing access points. Criterion met.

*4. Minimize potential adverse impacts on surrounding properties.*

**FINDING A-21:** The range of uses for this site does not have a high potential for off-site impacts. Nuisance conditions that may develop are addressed on a complaint basis; this includes noise, dust, vibration, and odor. Those criteria are addressed earlier in the Conditional Use Permit portion of this staff report.

**D. Lighting.** *Proposed lighting shall not directly illuminate adjoining properties.*

**FINDING A-22:** General lighting of the parking areas and the buildings is shown on the site plan. Lighting is not allowed to illuminate adjoining properties. With the additional exterior lighting planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. These items will be addressed as a condition of approval.

**E. City Engineer Approval.** *Detailed construction/design plans for public infrastructure, improvements, or rights of way affected by or located within a proposed development site shall be approved by the City Engineer as a condition of Site Plan Review approval.*

**FINDING A-23:** The detailed construction/design plans for all improvements located within the proposed development site shall be approved by the City Engineer prior to construction. Criterion will be addressed as a condition of approval.

**F. Waiver of Remonstrance.** *Where applicable, the applicant shall agree to waive any future rights to remonstrate against future improvements, per the provision of Section 6.110: Waiver of Right to Remonstrate of this ordinance.*

**FINDING A-24:** All improvements adjacent to the site are installed.  
Criterion does not apply.

**Section 5.060.040 - Conditional Uses B. Community Facilities**

**Section 5.100.020 - Conditional Uses F. Libraries, museum, and cultural exhibits.**

**FINDING A-25:** As indicated on the application submitted, the proposed use is for a public library. The use is allowed conditionally in the Residential High Density zoning district with a Community Facility Overlay. Criterion met.

**Sections 5.020.050, 5.040.040 & 5.100.040 Development Standards:**

The following table specifies Residential High Density, Neighborhood Center Overlay and Community Facility Overlay development standards applicable to this application.

<b>Residential High Density/ Neighborhood Center Overlay /Community Facility Overlay</b>	<b>Standard</b>	<b>Proposal</b>	<b>Meets Requirements</b>
Lot Size	<i>4,000sf/No minimum</i>	Existing lot, 2.34+ acres	Criterion met.
Setbacks	<i>Front and Side Yard: No minimum, Rear: 10 feet.</i>	Addition is planned between the existing library and the upper parking lot. All setbacks are met.	Criterion met.
Building Height	<i>35 ft.</i>	New addition will be shorter than the existing building. The height of the addition will be approximately 15'7".	Yes
Off-Street Parking	<i>Library- 2.5(min) spaces per 1,000sf floor area to 4 spaces per 1,000 sf floor area. Bicycle parking at 1 space per 1,000sf. Allows for a parking range of 37 to 60 parking spaces and 15 bicycle parking spaces based on a 14,790 sf building ( 12,490 existing and 2,300 new)</i>	78 Parking spaces exist and a bicycle rack that can hold 12-20 exists at the library.	Criterion met.
Landscaping	<i>Detailed Below</i>	Detailed Below	Detailed Below

**FINDING A-26:** Criterion will be addressed with conditions of approval.

## Section 5.050.050 Design Standards:

**Subsection A. Exterior Elevations.** Exterior elevations of buildings (except allowed 1 and 2 family dwellings) shall incorporate architectural design features such as offsets, balconies, projections, base/wall/cornice design, windows, entries, bays, seating, wall articulation, traditional storefront elements, or similar elements to preclude large expanses of uninterrupted building surfaces.

1. **Horizontal.** At least 3 architectural design features shall be incorporated along the horizontal face (side to side) of the structure.
2. **Vertical.** At least 2 architectural design features shall be incorporated along the vertical face (top to bottom) of the structure.

**FINDING A-27:** The proposed building elevation drawings show that the exterior elevations incorporate the required design standards. Criterion met.

### **Subsection B. Entries.**

1. **Commercial and Residential.** Primary entries shall face a public street or designated access drives and shall be accessed from a public sidewalk in accordance with the provisions of Subsection (C) below. Secondary entries may face parking lots or loading areas. Doors shall not swing into public rights-of-way.

**FINDING A-28:** The existing primary entrance face the public street. Doors will not swing into the public right of way. Criterion met.

**Subsection C. Pedestrian Walkways.** Each developed site shall include pedestrian walkway(s) designed to connect buildings and other accessible site facilities clearly and directly to adjacent public street/sidewalk(s). Walkways shall meet City standards for sidewalk construction, and be the shortest practical distance between the main entry(ies) and the public right-of-way. If adjacent to parking where vehicles overhang the walkway, then the walkway shall be to the City standard plus 2 ½ feet in width for each side vehicles overhang. Walkways shall be distinguished from internal driveways and accessways using at-grade distinctive paving materials or other appropriate surfaces which contrast visually with adjoining surfaces. Walkways, including driveway and accessway crossings, shall be constructed and maintained for pedestrian safety, and shall meet the requirements of the Oregon Americans with Disabilities Act, the State of Oregon Structural Specialty Code, and the Oregon Revised Statutes.

## Section 10.040 Pedestrian Requirements:

### **Subsection B. Connectivity.**

- (3) (a) The on-site pedestrian circulation system shall connect the sidewalk on adjacent street(s) to the main entrance of the primary structure on the site to minimize out-of-direction pedestrian travel.
- (b) Walkways shall be provided to connect the on-site pedestrian circulation system with existing or planned pedestrian facilities which abut the site but are not adjacent to the streets abutting the site.

- (c) *Walkways shall be as direct as possible and avoid unnecessary meandering.*
- (d) *Walkway/driveway crossings shall be minimized, and internal parking lot circulation design shall maintain ease of access for pedestrians from abutting streets and pedestrian facilities.*
- (e) *Walkways shall be separated from vehicle parking or maneuvering areas by grade, different paving material, or landscaping. They shall be constructed in accordance with the sidewalk standards adopted by the City Engineer. (This provision does not require a separated walkway system to collect drivers and passengers from cars that have parked on site unless an unusual parking lot hazard exists).*

**FINDING A-29:** The site plan shows proposed pedestrian walkways around the new addition and are provided from the site to the public sidewalk. The proposed walkways are direct and provided from the building and parking lots to the sidewalk as well as to the library. Criterion met.

**Section 6.010 Landscaping Standards:**

**6.010.030 General Provisions**

*Subsection B. Landscape Plans; where landscaping is required by this Ordinance, detailed landscape plans may be submitted with the development application. If not submitted for approval with the application, approval of detailed landscape plans shall always be a condition of the concept plan approval of the Site Plan Review process.*

**FINDING A-30:** The “CFO” - Community Facility Overlay zone requires the underlying zone requirements be met, and “NC” - Neighborhood Center Overlay requires 10% of the first floor area of all structures, and finally the “RH” - Residential High Density zone requires 1.5 times the first floor area of all structures. A majority of the 2.34 acre parcel contains landscaping if not occupied by a structure, parking lot or paved play areas. The landscaping exceeds the minimum requirement. Criterion met.

**Section 7.030 General Design Standards for Surface Parking Lots:**

*7.030.040 Subsection C. Interior parking Lot Landscaping. In addition to buffer landscaping along public right-of-way (excluding alleys and accessways) and along interior lot lines where required, all surface parking lots greater than 6 spaces shall include landscaping to cover not less than 10% of the interior of the parking area in accordance with the following:*

1. *A planting strip bay shall be located at the end of each parking row and at intervals between parking rows. Planting bays shall be a minimum of 9' wide; to allow doors to open without damage, and a minimum of 180 square feet. Each bay shall be curbed, and planted with 1 approved tree having a clear trunk height of at least 9 feet when mature. Height of all plantings, other than trees, in planting bays is limited to 24 inches.*
2. *All trees shall be selected from a list of acceptable parking lot trees provided by the Director.*
3. *Trees shall not be placed within 10 feet of a public utility easement without prior approval of the City Engineer.*

4. *Parking area shall be separated by a 5 foot landscaped planting bed from all exterior walls that include no pedestrian entranceways or loading areas.*
5. *Driveways, accessways, and access drives into vehicle parking lots from public and private streets shall be bordered (both sides) by a minimum 5 foot wide landscape planter strip with approved trees planted 20-30 feet on center and low shrubs.*
6. *Trees shall be evenly distributed throughout the parking area according to the applicable requirements of this section and the following table....Zone District "CG"- Commercial General – Parking Lot Tree Requirement Ratio – 1 tree per 12 parking spaces.*

**FINDING A-31:** The applicant is not proposing modifications or additions to the parking lot areas. Staff determined that due to no modification being made to the existing parking lot, the lot would not be required to install additional landscaping. The existing landscaping appears to meet, or nearly meet, the minimum requirements. Criterion does not apply.

**IF APPROVED, SUGGESTED CONDITIONS OF APPROVAL:**

1. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
2. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWPA standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
3. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
4. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
6. With the new exterior lighting planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
7. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond allowable levels as determined by local, state, and federal standards shall not be allowed.
8. Building permits will be required for the library. System Development Charges will be assessed at the time of permitting.

CONDITIONAL USE PERMIT APPLICATION

CITY OF THE DALLES
Community Development Department
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
Fax (541) 298-5490
www.ci.the-dalles.or.us

Date Filed 4/21/2015
File# CUP 174-15
Date Deemed Complete 4/17/15
Hearing Date 5/7/15
Approval Date
Permit Log #
Other Cross Reference#

APPLICANT

Name FFA ARCHITECTURE + INTERIORS, INC.
Address 520 SW YAMHILL, SUITE 900
Telephone # 503.327.0370
E-mail address: LRDAWK@FFADESIGN.COM

LEGAL OWNER (If Different than Applicant)

Name City of The Dalles
Address 313 Court
The Dalles
Telephone # 541-296-5481
Daniel Hunter x 4448

PROPERTY INFORMATION

Address 722 COURT STREET
Map and Tax Lot 1 N 13 E 3 CB 800
Size of Development Site 2.35 ACRES (2,300 SF ADDITION TO 10,702 GSF REFIG LIBRARY FOOT PRINT)
Zone District/Overlay RH / NC In City Limits: Yes x No
Comprehensive Plan Designation Geohazard Zone:

PROJECT INFORMATION

[ ] New Construction [x] Expansion/Alteration [ ] Change of Use [ ] Amend Approved Plan
Current Use of Property LIBRARY
Proposed Use of Property LIBRARY

Briefly Explain the Project ONE STORY ADDITION TO AN EXISTING ~12,000 SF LIBRARY BUILDING. THE ADDITION INCLUDES A NEW READING ROOM, BOOK COLLECTION AND CHILDREN'S ACTIVITY AREA. SITE IMPROVEMENTS WILL INCLUDE AN OUTDOOR ACTIVITY SPACE FOR THE CHILDREN'S PROGRAM & CONCRETE FINING FOR WALKS & BIKE PATHWAYS.

**PROPOSED BUILDING(S) FOOTPRINT SIZE (in square feet)** 2,300 SF ADDITION

**PARKING INFORMATION**

Total Number of Spaces Proposed N/A

Square Footage of Parking Lot Landscaping Proposed N/A

**LANDSCAPING INFORMATION**

Total Square Footage Landscaping Proposed N/A Percent of Landscaping Irrigated \_\_\_\_\_

**ECONOMIC DEVELOPMENT INFORMATION**

Proposed Project is located in the Enterprise Zone

\_\_\_\_\_ Full Time Equivalent (FTE) jobs are currently provided.

\_\_\_\_\_ FTE jobs are expected to be created by the proposed project.

Signature of Applicant

Laura R. Rank 4/16/2015  
Date

Signature of Property Owner\* or Owners Agent

Gene E. Burkner 4-17-15  
Date

\* Notarized Owner Consent Letter may substitute for signature of property Owner

**NOTE:** This application must be accompanied by the information required in Section 3.050: Conditional Use Permits, contained in Ordinance No. 98-1222, The City of The Dalles Land Use and Development Ordinance.

**PLANS REQUIRED:**

- At least 12 copies of concept site plan.
- At least one 11 x 17 concept site plan.
- 2 copies detailed landscape plans
- 2 full size copies construction detail plans

(10) 1/2 size sets per DANIEL HUNTER



























**RESOLUTION NO. P.C. 542-15**

Adopting Conditional Use Permit Application #174-15 of FFA Architecture+Interiors/The Dalles Wasco County Library to gain approval to site and construct a one-story, 2,300 square foot addition to the existing The Dalles-Wasco County Library. The addition will include a reading room, book collection area, and a children's activity area. The property is located at 722 Court Street, The Dalles, Oregon, and is further described as Township 1 North, Range 13 East, Map 3 CB, tax lot 800. Property is zoned "RL/CFO" – Residential Low Density District with a Community Facility Overlay.

**I. RECITALS:**

- A. The Planning Commission of the City of The Dalles has on May 7, 2015 conducted a public hearing to consider the above request. A staff report was presented, stating the findings of fact, conclusions of law, and a staff recommendation.
- B. Staff's report of Conditional Use Permit #174-15 and the minutes of the May 7, 2015 Planning Commission meetings, upon approval, provide the basis for this resolution and are incorporated herein by reference.

**II. RESOLUTION:**

Now, therefore, be it FOUND, DETERMINED, and RESOLVED by the Planning Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part "I" of this resolution. CUP #174-15 is hereby approved with the following conditions of approval:
  - 1. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
  - 2. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWPA standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
  - 3. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
  - 4. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
  - 5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
  - 6. With the new exterior lighting planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
  - 7. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond

allowable levels as determined by local, state, and federal standards shall not be allowed.

8. Building permits will be required for the library. System Development Charges will be assessed at the time of permitting.

**III. APPEALS, COMPLIANCE, AND PENALTIES:**

- A. Any party of record may appeal a decision of the Planning Commission to the City Council for review. Appeals must be made according to Section 3.020.080 of the Land Use and Development Ordinance, and must be filed with the City Clerk within ten (10) days of the date of mailing of this resolution.
- B. Failure to exercise this approval within the time limits set either by resolution or by ordinance will invalidate this permit.
- C. All conditions of approval must be met within the time limits set by this resolution or by ordinance. Failure to meet any condition will prompt enforcement proceedings that can result in: 1) permit revocation; 2) fines of up to \$500.00 per day for the violation period; 3) a civil proceeding seeking injunctive relief.

The Secretary of the Commission shall (a) certify to the adoption of the Resolution; (b) transmit a copy of the Resolution along with a stamped approved/denied site plan or plat to the applicant.

APPROVED AND ADOPTED THIS 7TH DAY OF MAY, 2015.

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Bruce Lavier, Chairman  
Planning Commission

I, Richard Gassman, Planning Director for the City of The Dalles, hereby certify that the foregoing Resolution was adopted at the regular meeting of the City Planning Commission, held on the 7th day of May, 2015.

AYES:

NAYS:

ABSENT:

ABSTAIN:

ATTEST: \_\_\_\_\_  
Richard Gassman, Planning Director  
City of The Dalles