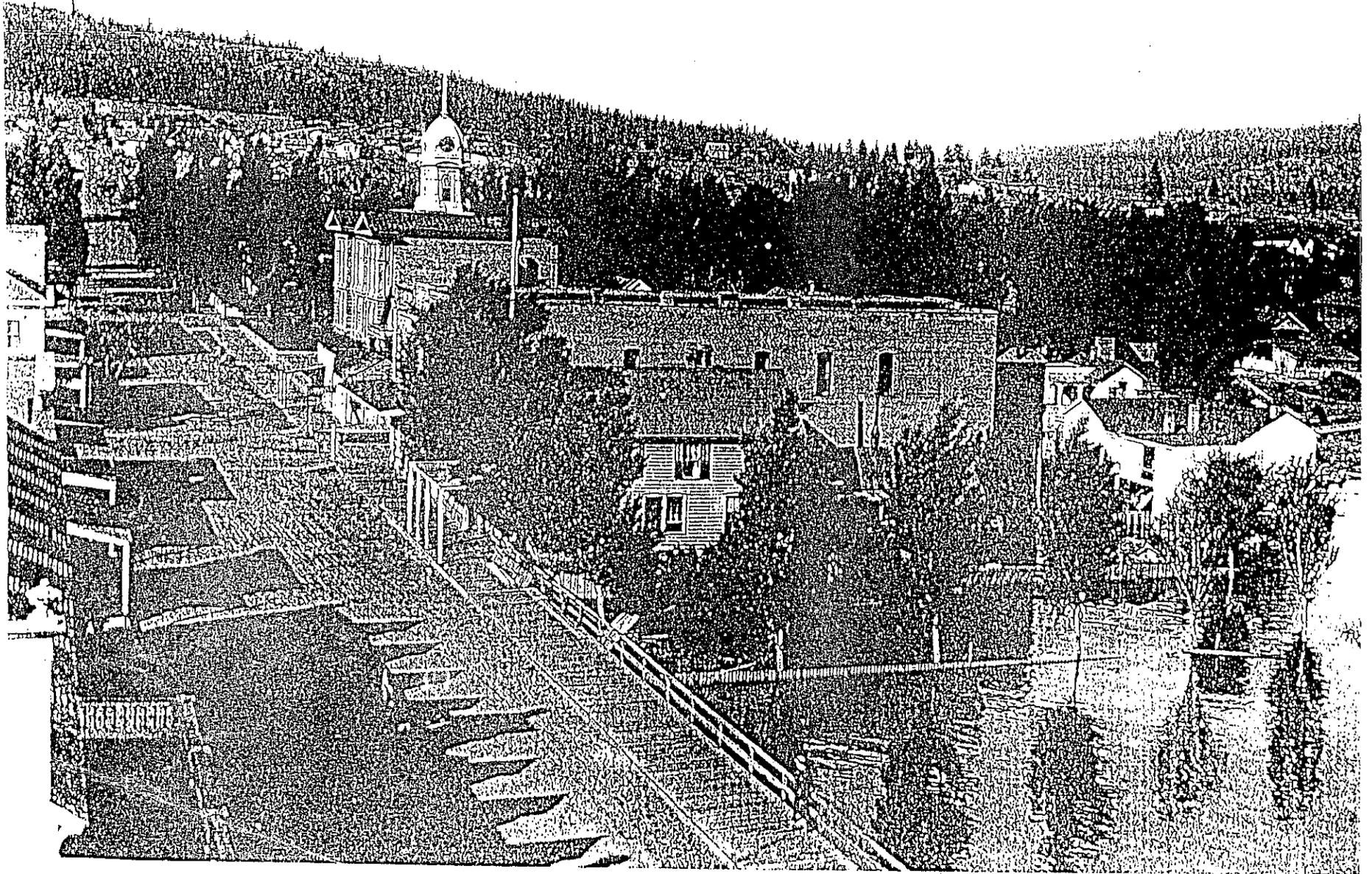


DESIGN GUIDELINES for THE DALLES COMMERCIAL HISTORIC DISTRICT and TREVITT'S ADDITION



GENERAL ORDINANCE NO. 96-1207  
AN ORDINANCE AMENDING SECTION 10(A) OF GENERAL  
ORDINANCE 94-1194, ESTABLISHING DESIGN  
GUIDELINES FOR HISTORIC RESOURCES

WHEREAS, the City adopted General Ordinance No. 94-1194,  
relating to historic resources within the City of The Dalles; and

WHEREAS, the Historic Landmarks Commission concluded a public  
hearing on October 25, 1995, concerning proposed design guidelines  
to be incorporated in General Ordinance No. 94-1194, and following  
the hearing, forwarded their recommendation to the City Council;  
and

WHEREAS, the City Council conducted a public hearing on May  
20, 1996, and after hearing public testimony, the Council voted to  
approve the design guidelines as set forth in Exhibit "A", attached  
hereto,

NOW, THEREFORE,

THE COUNCIL OF THE CITY OF THE DALLES ORDAINS AS FOLLOWS:

Section 1. Section 10(A) of General Ordinance shall be amended to  
read as follows:

A. Design Guidelines.

The design guidelines for this ordinance shall be as set forth in  
Exhibit "A", attached to this ordinance and incorporated herein by  
this reference.

PASSED AND ADOPTED THIS 14TH DAY OF OCTOBER, 1996.

Voting Yes, Councilmembers: Davis, Van Cleave, Hill, Koch  
Voting No, Councilmembers: None  
Absent, Councilmembers: Briggs  
Abstaining, Councilmembers: None

AND APPROVED BY THE MAYOR THIS 14TH DAY OF OCTOBER, 1996.

SIGNED: Raymond Koch  
Raymond Koch, Mayor pro-tem  
ATTEST: Julie Krueger  
Julie Krueger, DMC, City Clerk

## TABLE OF CONTENTS

|   |         |
|---|---------|
| INTRODUCTION: THE DESIGN GUIDELINES                         | page 1  |
| SECRETARY OF THE INTERIOR'S<br>STANDARDS FOR REHABILITATION | page 2  |
| COMMERCIAL DISTRICT GUIDELINES                              |         |
| HISTORY OF THE DALLES                                       | page 3  |
| DISTRICT MAP  | page 4  |
| NEW CONSTRUCTION & REHABILITATION                           | page 5  |
| STREETSCAPE   | page 6  |
| BUILDING SETBACK  | page 7  |
| BUILDING HEIGHT   | page 8  |
| BUILDING WIDTH  | page 9  |
| MATERIALS   | page 10 |
| ROOF FORM   | page 11 |
| COMMERCIAL FRONT  | page 12 |
| AWNINGS   | page 13 |
| SIGNS   | page 14 |

## TREVITT'S ADDITION GUIDELINES

|                               |         |
|-------------------------------|---------|
| HISTORY OF TREVITT'S ADDITION | page 15 |
| DISTRICT MAP                  | page 16 |
| BUILDING STYLE DESCRIPTIONS   | page 17 |
| LANDSCAPE                     | page 22 |
| PORCHES                       | page 23 |
| ROOFING                       | page 24 |
| SIDING                        | page 25 |
| WINDOWS/DOORS                 | page 26 |
| COLOR                         | page 27 |
| APPENDIX A: Resources         | page 28 |
| APPENDIX B: Bibliography      | page 29 |
| APPENDIX C: Glossary          | page 30 |
| APPENDIX D: Ordinances        | page 32 |

## INTRODUCTION: THE DESIGN GUIDELINES

The Dalles is a Certified Local Government (CLG) and as such there are certain requirements that the city must fulfill. One requirement is that there must be a historic review board. The Dalles has the Historic Landmarks Commission (HLC), an historic review board which reviews applications for work on locally landmarked properties and districts. Its six members, appointed by the mayor, include representatives from the citizens at large and one non-voting member from The Dalles/Wasco County Museum Commission. Design review is administered according to a set of design guidelines. These are criteria and standards which were developed by the HLC as a part of the district designation process. The guidelines are used in determining the appropriateness and architectural compatibility of proposed projects. The guidelines also provide direction for project applicants, and ensure that the decisions of the HLC are not arbitrary or based on anyone's personal taste.

The HLC is responsible for conducting hearings dealing with design issues on historic properties and the Design Guidelines will serve as a tool to help them make these decisions. The purpose of the HLC, the Historic Ordinance and the Design Guidelines are to:

*protect* historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;

*stabilize* and *improve* property values in historic districts and citywide;

*enhance* the city's attractiveness to visitors and residents, and *stimulate* business, industry, and tourism;

*educate* The Dalles' citizens and visitors concerning the city's heritage;

*preserve* the historic housing stock of The Dalles;

*comply* with *The Dalles Comprehensive Plan* regarding historic resources under *Statewide Planning Goal 5*.

The Design Guidelines for The Dalles Commercial Historic District and Trevitt's Addition serve as a reference for preserving the historic character and as a guide for new construction and rehabilitation. By state and local law, guidelines for historic districts must be in accordance with the Secretary of the Interior's Standards for Rehabilitation. These standards were developed by the National Park Service and are used by private and public preservation organizations throughout the country.

## SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The Standards that follow were originally published in 1977 and revised in 1990 as part of Department of Interior regulations. They pertain to historic buildings of all materials, construction types, sizes and occupancy and encompass related landscape features and the building's site and environment as well as attached, adjacent or related new construction.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristic of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

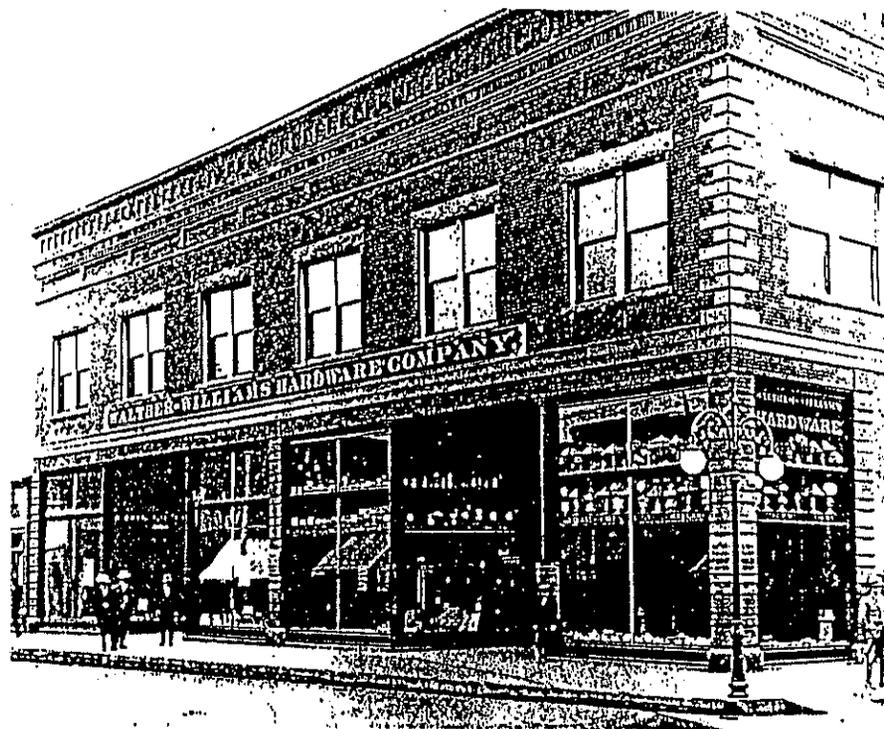
## COMMERCIAL HISTORIC DISTRICT

### HISTORY OF THE DALLES

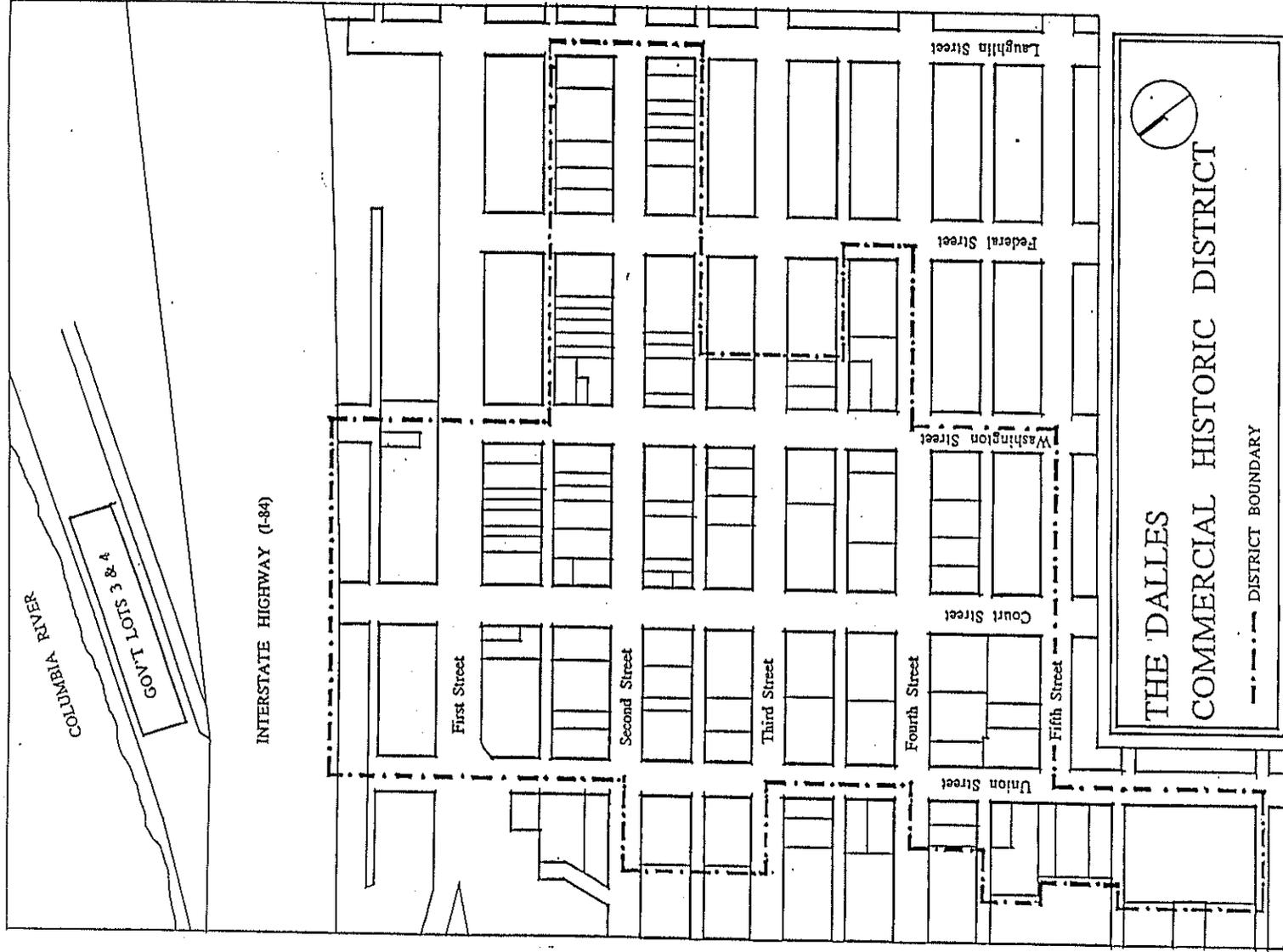
The Dalles has a population of 11,021 people (1990 census). It is located east of the Cascade Range along the south bank of the Columbia River. "Dalles City" was platted in 1855, encompassing the commercial core. The Dalles was settled as a result of exploration, influx of pioneers, and trade relating to the Columbia River and its tributaries. The term "The Dalles" came from a french term for the long and short narrows between Celilo falls and Big Eddy (these no longer exist as a result of The Dalles Dam). When the town was settled the lots and streets were aligned toward the river. The town was incorporated in 1857 and by 1860 it had a population of 804. The Dalles is rich in history and has gone through several periods of boom and bust which were the result of economic as well as natural factors.

The first boom came in the 1860's with the discovery of gold in Idaho, Washington, and Oregon. It was during this boom that Robert Pentland built the first flour mill in the downtown area in 1866. This boom lasted until the 1870's when the interior goldmines had been exhausted which led to economic hardship. In addition The Dalles also suffered from several fires in 1871, 1878, and 1891 in which nearly all the original frame settlement structures were destroyed. However, as the town was rebuilt in brick and stone the population increased to about 2,232 in 1880. The city also underwent a period of prosperity as a result of the railroad, wheat ranchers, stockmen, and the fishwheels and salmon canneries. This period was followed by another fire in 1891 and the "big flood" of 1894 which inundated the entire business area up to 3rd Street.

As The Dalles entered the 1890's it became a center of trade and shipping, aided by the establishment of The Dalles Fruit Shipping Company. This period of prosperity continued and in 1903 The Dalles was considered the commercial center of Eastern Oregon. By 1910 The Dalles had reached a peak and continued to thrive with the fruit, wheat, and fish industries, until the Depression in 1929. Today, The Dalles is a community with a rich history that is well supported by its built environment and people.



COMMERCIAL HISTORIC DISTRICT



## COMMERCIAL HISTORIC DISTRICT

### NEW CONSTRUCTION & REHABILITATION

New construction is necessary to accommodate expanding and new needs of a healthy downtown. There are existing gaps in the downtown that should be filled. New construction should maintain the character of The Dalles by not hiding building additions but in making them sympathetic to the historic buildings and town form without imitating past architectural styles.

### GUIDELINES:

- a. New construction fronting streets should be in keeping with the original architectural character, color, mass, scale and materials of the neighboring buildings (see page 2, Secretary of the Interior Standards for Rehabilitation).
- b. Additions to existing buildings should be in keeping with the original architectural character, color, mass, scale and materials (see page 2, Secretary of the Interior's Standards for Rehabilitation).
- c. New construction should fill in gaps in the urban fabric; tight to the sidewalk or vertical edge, reinforcing the enclosure of the street.
- d. Existing additions to historic buildings should be evaluated for their sympathy with the historic building and their contribution to the downtown character.

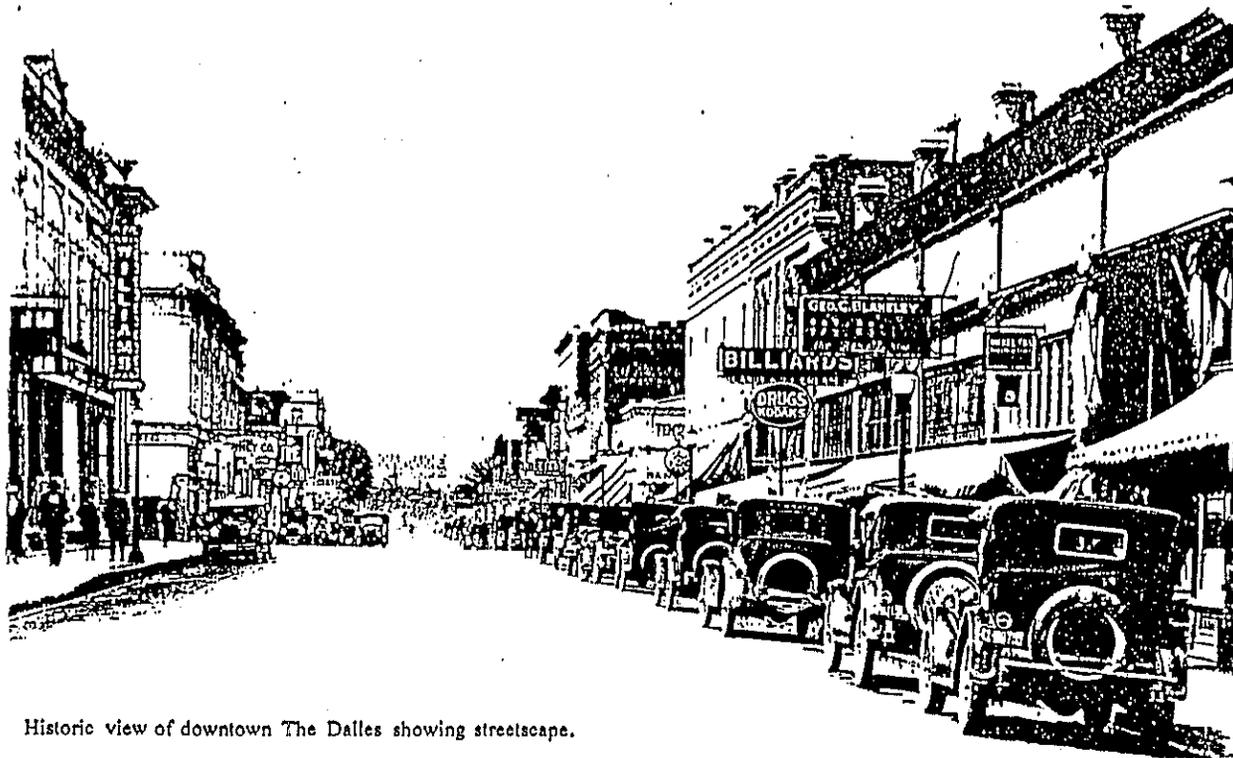
## COMMERCIAL HISTORIC DISTRICT

### STREETSCAPE

The Dalles' downtown is a pedestrian friendly environment resulting from the storefronts, width of sidewalks, and features such as street lights. New construction and rehabilitation should contribute in making downtown The Dalles an inhabitable place that is pleasant for walking, providing a buffer zone of parked cars between automobile traffic and pedestrians, while also reinforcing the rhythm of the street.

### GUIDELINES:

- a. Landscaping is not recommended because historically there was none.
- b. Historically appropriate street lights should be installed.
- c. Streetlights and other sidewalk elements should be placed so as not to obscure line of vision of automobiles.
- d. Garbage cans are unattractive and should not be part of the streetscape.
- e. A downtown maintenance program should be implemented to keep streets and sidewalks clean.



Historic view of downtown The Dalles showing streetscape.

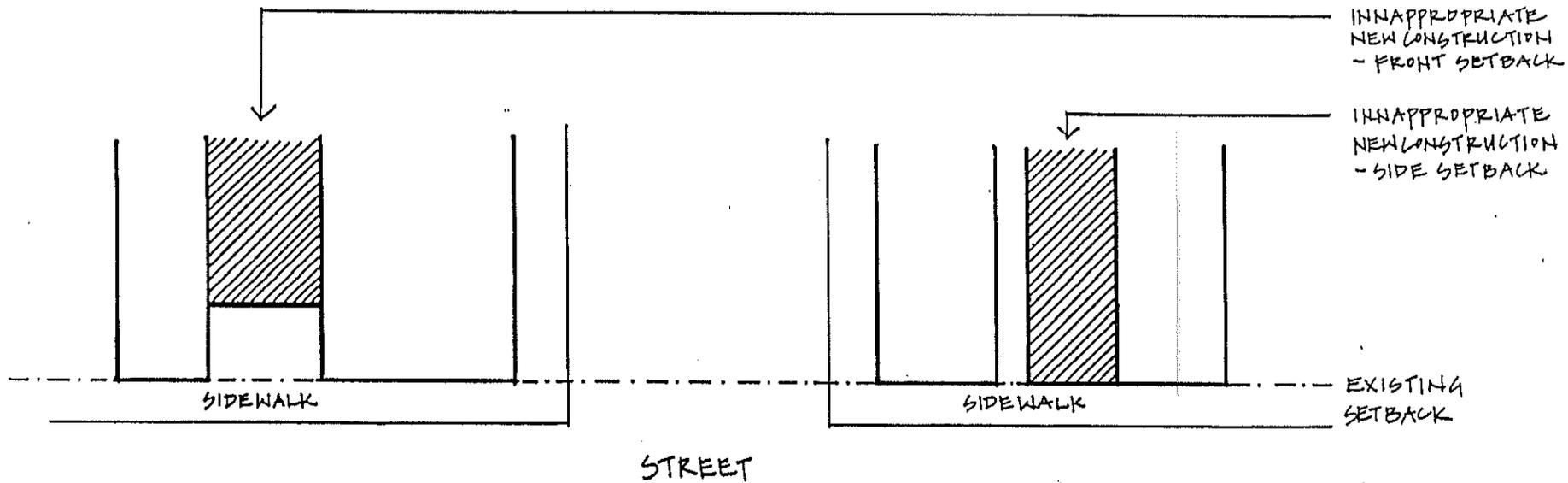
## COMMERCIAL HISTORIC DISTRICT

### BUILDING SETBACK

The Dalles' buildings historically were aligned along the sidewalk, giving a sense of enclosure to the street and providing for a more pleasant pedestrian environment. New construction and rehabilitation should maintain the alignment of buildings along the sidewalk edge.

### GUIDELINES:

- a. New construction should face the street and maintain the sidewalk edge.
- b. The "Street Cafe" permit allows for restaurants to put tables on the sidewalk with a 5' clearance, creating a more pedestrian friendly environment.



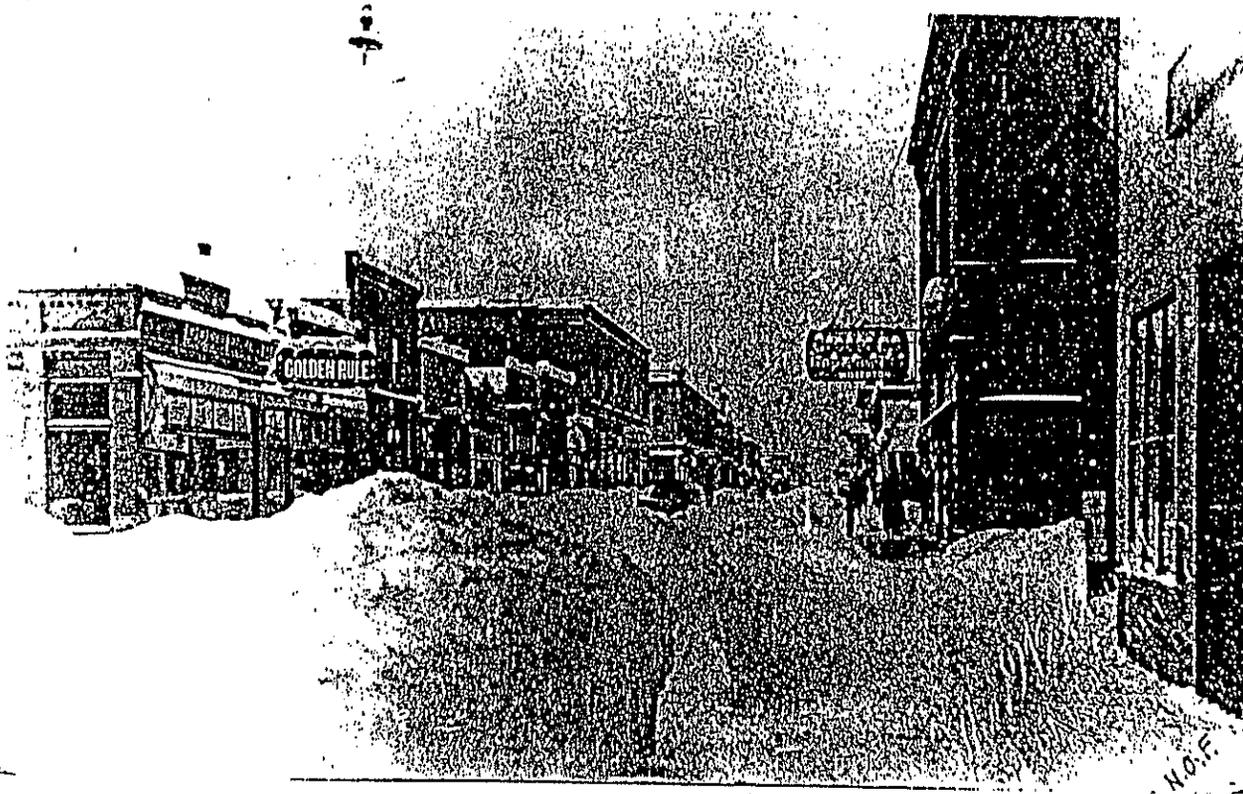
## COMMERCIAL HISTORIC DISTRICT

### BUILDING HEIGHT

The Dalles' historic building heights are varied, within a range of one story to four stories (Commadore Apartments). New construction should maintain this range of building heights through a minimum and maximum height limit which will allow for flexibility and contribute to the street environment in the rise and fall of cornice lines.

### GUIDELINES:

- a. A maximum building height of 55', measured from the sidewalk to the highest portion of roof or cornice, is recommended.
- b. A minimum building height of 20' is recommended.



Historic view of downtown showing variation in building heights.

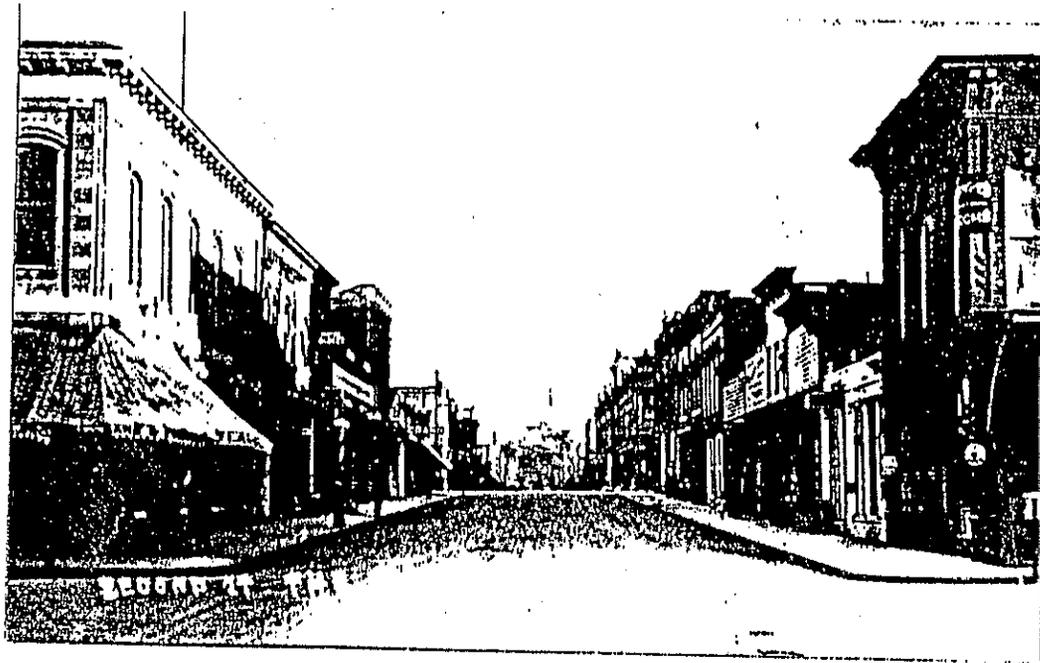
## COMMERCIAL HISTORIC DISTRICT

### BUILDING WIDTH

The interest and variety of The Dalles' commercial streets is derived in part from the historic lot size which helped in creating a pedestrian friendly environment through the rhythm of windows, entrances, and structure. New construction and rehabilitation should maintain the commercial nature and lot width that dominates in The Dalles' in order to retain the definition and rhythm of the street front.

### GUIDELINES:

- a. New construction should build from side lot line to side lot line especially when next to an alley.
- b. If new construction is to take up more than one lot, some sense of division should be evident in the facade detailing through the use of adequate window frontage and rhythm of entrances.



Historic view of downtown showing the rhythm that results from the lot widths, windows, entrances, and structure.

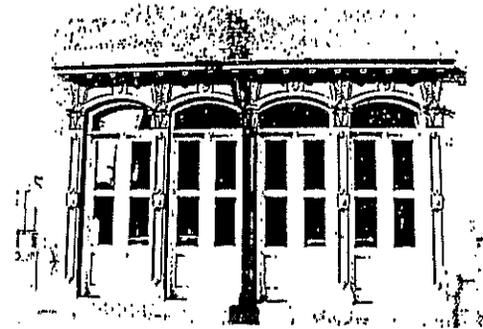
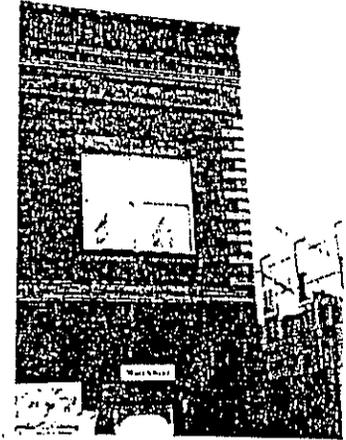
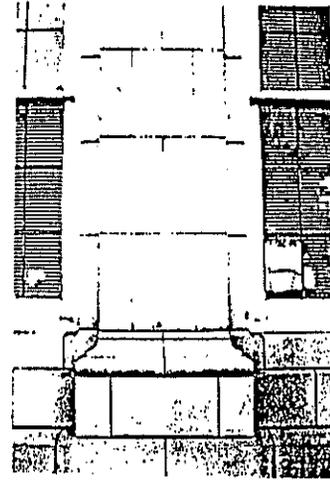
## COMMERCIAL HISTORIC DISTRICT

### MATERIALS

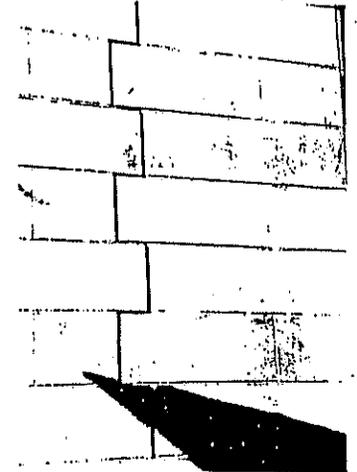
The sense of cohesiveness and continuity of The Dalles' commercial area derives in part from the consistent use of building materials in building facades. New construction and rehabilitation should use appropriate materials that provide scale making a more pedestrian friendly environment.

### GUIDELINES:

- a. For building renovations, original materials should be restored wherever possible.
- b. When materials need to be replaced for restoration they should be compatible in quality, color, texture, finish and dimension to the original materials (see page 2, Secretary of the Interior's Standards for Rehabilitation).
- c. New construction should use materials compatible with the historic buildings in quality, color, texture, finish and dimension. Predominant materials of the commercial historic district are:
  - brick
  - stone
  - cast iron
  - glazed terra cotta
  - cement plaster (stucco)
- d. The use of wood for windows is recommended.
- e. The use of reflective and smoked glass is prohibited.
- f. Whenever possible, the natural color of the materials should be retained.
- g. An ordinance prohibiting the painting of brick, unless it is damaged or has already been sandblasted, should be adopted.
- h. Sandblasting of brick is prohibited as it severely damages the brick.
- i. When painting a building the following color scheme is recommended:
  - darkest-window sash
  - medium-building
  - lightest-trim, detail



Materials used in the commercial area, clockwise from top left; glazed terracotta, brick, stone, cast iron.



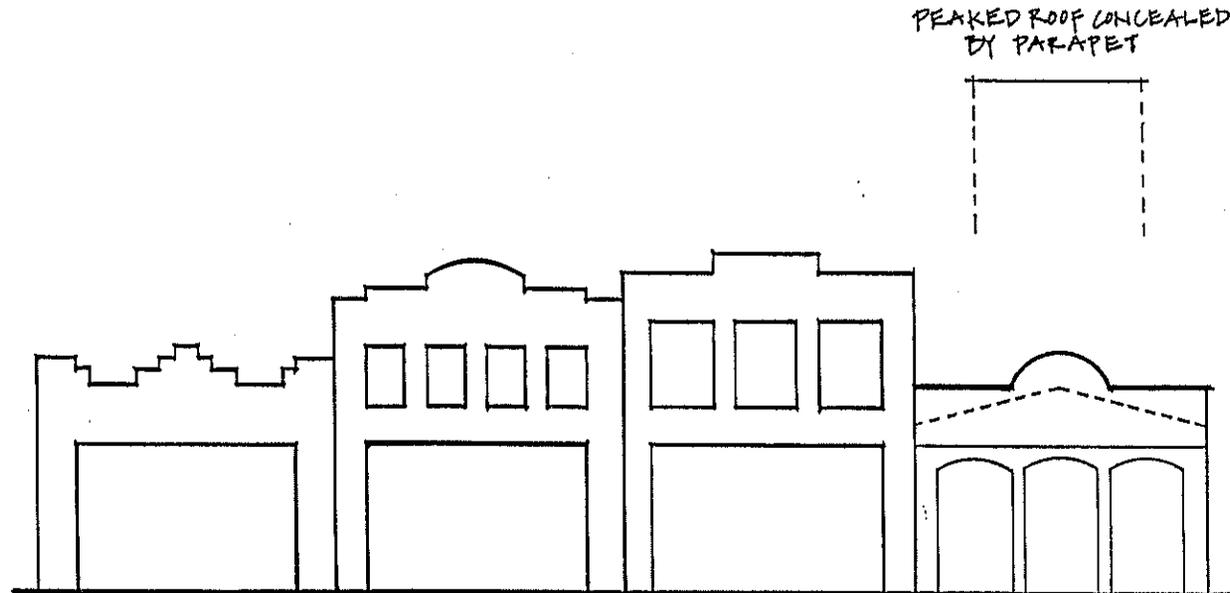
## COMMERCIAL HISTORIC DISTRICT

### ROOF FORM

Roof forms contribute to the identity of The Dalles commercial district because historically they were flat with parapets, false fronts, or gables concealed by a parapet or false front, in contrast to the pitched roofs in the residential neighborhoods. New construction and rehabilitation should maintain the commercial nature of the downtown in the articulation of its roof forms along the street edge.

### GUIDELINES:

- a. Roof forms should be consistent with those commercial buildings of the historic period of downtown.
- b. Parapet and flat roof forms are recommended.
- c. Pitched roof forms associated with residential structures are not recommended, unless concealed by a parapet.
- d. Detailing of the parapets with patterned or relief cornices and stepping is highly recommended.



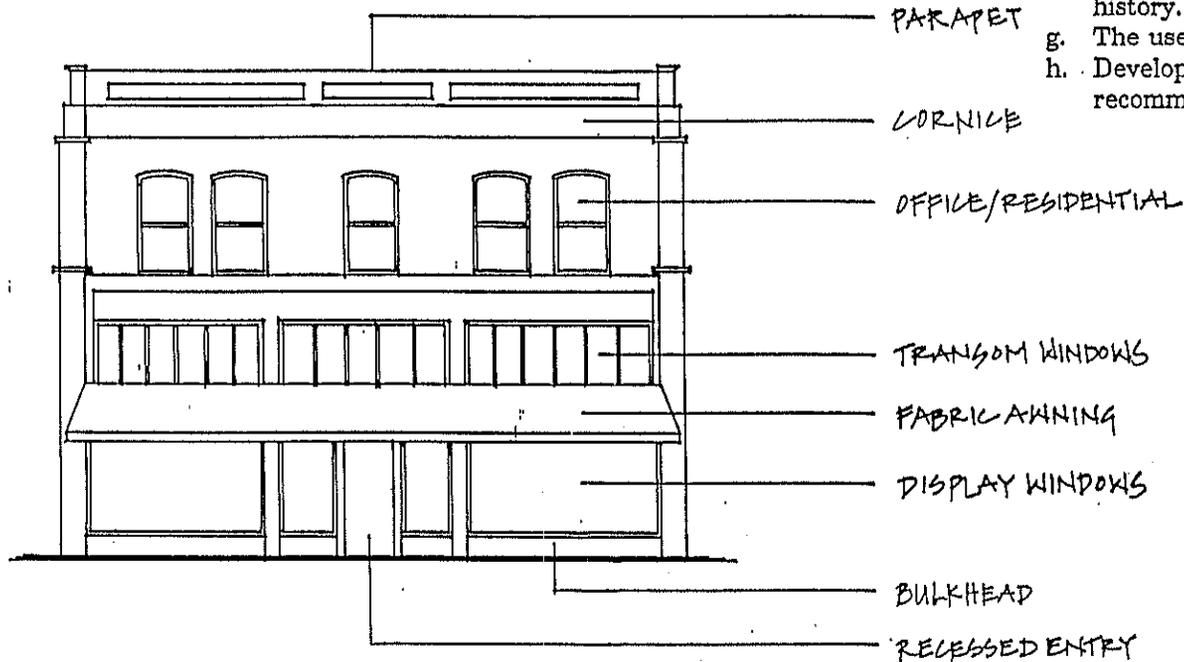
## COMMERCIAL HISTORIC DISTRICT

### COMMERCIAL FRONT

The continuous commercial fronts of downtown The Dalles make a consistent, pedestrian friendly backdrop for a wide variety of businesses. The storefront is predominantly made up of glazing with only structure and decoration revealed. The upper stories consist mostly of wall with discreet window openings. New construction and rehabilitation should maintain the continuity of the multi-story buildings and the clear distinction between storefront and upper floor office or residences through facade treatment and articulation.

### GUIDELINES:

- a. Primary entrances should be recessed, glazed and oriented to the street rather than to a rear or interior alley.
- b. Tiled floors are highly effective in marking the recessed entrance.
- c. The use of large, clear plate glass for display windows incorporated with transom windows is recommended.
- d. The use of vertical, double-hung windows; either singly or in groups is recommended on the upper levels.
- e. Window bulkheads of the historic type are recommended.
- f. Identify and retain fragments such as earlier window systems and no longer used door locations which evoke a sense of the building's history.
- g. The use of historic photographs for reference is recommended.
- h. Development and adoption of a Facade Improvement Plan is recommended.



## COMMERCIAL HISTORIC DISTRICT

### AWNINGS

Awnings provide a "ceiling" for pedestrian traffic which helps to give a sense of enclosure to the street and protection from the elements. New construction and rehabilitation should maintain the horizontal datum line along the street, resulting from awnings which enliven the street, making it pedestrian friendly.



Photograph showing the appropriate use of fabric awnings; awnings fit within the window bay.

### GUIDELINES:

- a. The use of historic photographs is recommended for reference replacement of awnings and canopies.
- b. Awnings and canopies should fit within window bays so as not detract from architectural features of the building.
- c. Awnings and canopies should not obscure transom windows above display windows.
- d. Retractable fabric awnings were used historically and are recommended, as they add variety to the streetscape because they can be adjusted to varying conditions, such as light and weather.
- e. Awnings should have a slope of no more than 45 degrees.
- f. The color of the awning should be compatible with the building.
- g. Flat, horizontal metal canopies suspended by chains or rods, original, should be used as they provide cover for pedestrians and shade within the store.
- h. The use of internally illuminated, plastic, barrel awnings are prohibited as they detract from architectural features with incompatible materials that are out of scale.

## COMMERCIAL HISTORIC DISTRICT

### SIGNS

Signs should not be the dominant feature of a building or site, yet they are a key component in identifying businesses and contributing to the liveliness of the street with their individuality. New construction and rehabilitation should maintain a system in which signs identifying businesses are visible to both pedestrian and automobile traffic without detracting from the architecture or overpowering the streetscape.



Example of product sign that gives character and history to the building.

### GUIDELINES:

- a. Wall signs, window signs, canopy and projecting signs attached to buildings should be compatible in scale, without obscuring the architectural features.
- b. Window signs should be at eye level to entice the pedestrian.
- c. The window background should be treated as if it is a black surface in order for a painted sign to be readable.
- d. The use of gold leaf window signs at an appropriate scale is recommended.
- e. Hanging signs using front lighting are recommended.
- f. Historic product signs painted on building sides should be preserved when possible, as they contribute to the character of the commercial area.
- g. The use of historic photographs for reference is recommended.
- h. Murals are not recommended on primary, secondary, and historic buildings as they lessen the integrity of the architecture and damage the building surface.
- i. Free standing sign faces are not recommended.
- j. Plastic sign faces are not recommended.
- k. Can signs are not recommended.



Historic photograph showing the use of hanging and window signs.

## TREVITT'S ADDITION

### HISTORY OF TREVITT'S ADDITION

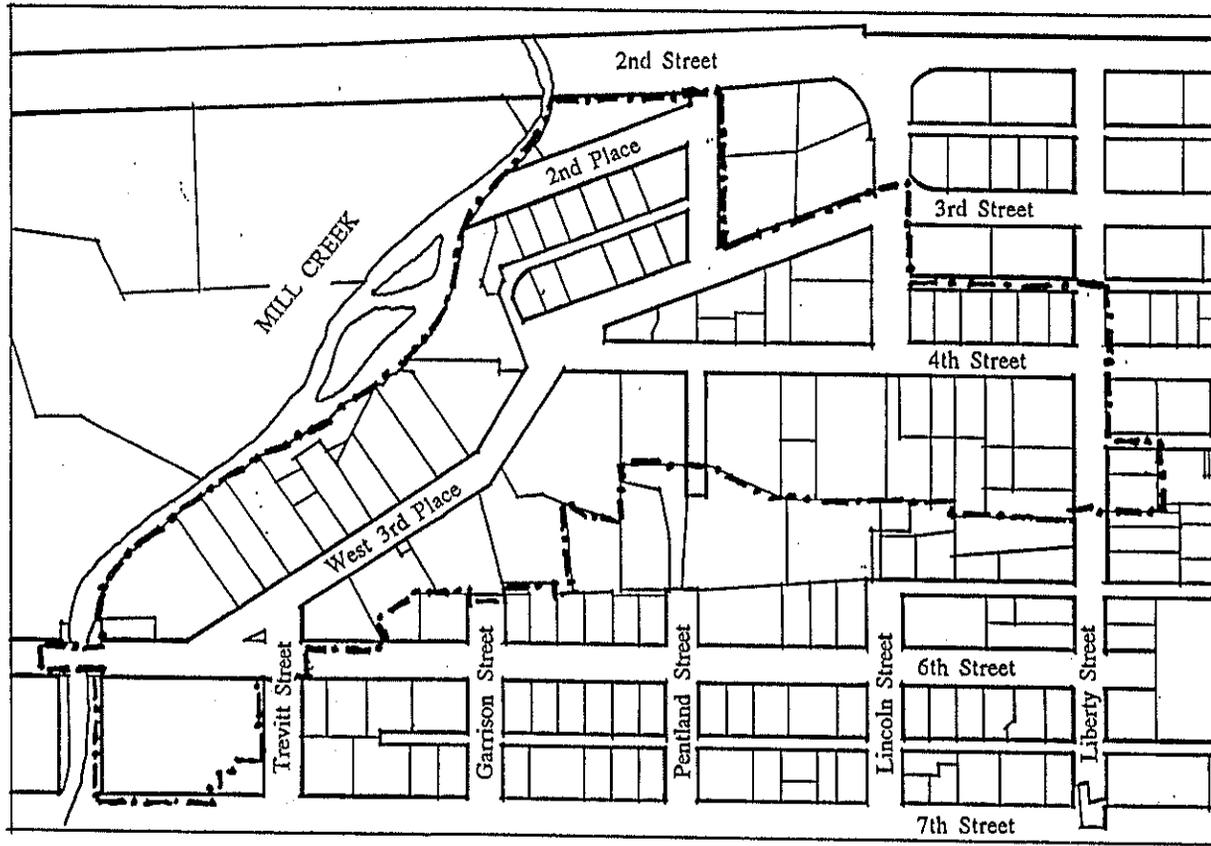
Trevitt's Addition was one of the first areas platted in The Dalles in 1860 by Victor Trevitt who had purchased the Donation Land Claim in 1855. Victor Trevitt was born in 1827 in New Hampshire. In his late teens he ran away from home to live with an uncle in Ohio where he learned the printer's trade at the *Ohio Statesman*. In 1846 Trevitt enlisted in the U.S. Army and was discharged a year later. He slowly moved to the west ending up in Oregon City where he worked for a local newspaper until he came to The Dalles in 1854. Trevitt was involved in various businesses and activities over the years. He owned several saloons in the 1860's, the Trevitt and Crown Saloon and the Mt. Hood Saloon. He also fought in the Yakima Indian Wars from 1855 until 1856. He was known for his "gentleman" like quality, gift of gab, and well-groomed appearance.

In 1858 he was appointed to The Dalles City Council and in 1859 he was elected as a state representative. From 1868 to 1872 he served as a state senator for Wasco County. Trevitt was known for being responsible for passing a bill that renounced the 14th Amendment, which gave rights to African Americans. However, he was a supporter of equal rights for Native Americans.

After serving his term he returned to The Dalles. The worsening financial times of the 1870's affected both Victor Trevitt and The Dalles. After marrying Mary Wortley Hunt Miller in 1882 Trevitt moved to San Francisco because of health problems. However, within a year he had died at the age of 56 and his body was returned to The Dalles and buried on Memaloose Island. Memaloose means "dead" in Chinook, the island was the burial place for the Native Americans. Trevitt wished to be buried there because he respected the Native Americans for their honesty, however, the Native Americans removed their burial grounds from the island after Trevitt's burial. Trevitt died before the completion of the railroad and never saw the economic gains in The Dalles that resulted.



TREVITT'S ADDITION



TREVITT'S ADDITION  
HISTORIC DISTRICT

--- DISTRICT BOUNDARY



## TREVITT'S ADDITION

### BUILDING DESCRIPTIONS

The primary period of significance for Trevitt's Addition is 1864-1902. This marks the earliest settlement and development of the residential areas and the commercial core. The secondary period of significance is 1903-1937 which is due to changes resulting from the motor age, electricity and telephone systems.

This section is written to help owners identify the style of their home (see also Trevitt's Addition District Nomination) and enable them to better understand the unique features that contribute to the overall building shape and detailing. A description of the predominant styles from Trevitt's Addition is given, along with examples from the district which are listed by their historic names.

The historic homes in the Trevitt's Addition fall into a broad range of styles. Not every home will fit within a specific style, some buildings may combine features of several styles, as well as being in a vernacular form. The following definitions are taken from A Field Guide to American Houses by Virginia and Lee McAlester (see Appendix B, Bibliography).

**GOTHIC REVIVAL (1840-1880)** - steeply pitched roof, usually with steep cross gables (roof normally side-gabled, less commonly front-gabled or hipped; rarely flat with castellated parapet); gables commonly have decorated vergeboards; wall surface extending into gable without break (eave or trim normally lacking beneath gable); windows commonly extend into gables, frequently having pointed-arch (Gothic) shape; one-story porch (either entry or full-width) usually present, commonly supported by flattened Gothic arches.

**EXAMPLE:** Schmidt House, c. 1878



## TREVITT'S ADDITION

ITALIANATE (1840-1885) - two or three stories (rarely one story); low-pitched roof with widely overhanging eaves having decorative brackets beneath; tall, narrow windows, commonly arched or curved above; windows frequently with elaborated crowns, usually of inverted U shape; many examples with a square cupola or tower.

EXAMPLE: Thornbury House, c. 1880



QUEEN ANNE (1880-1910) - steeply pitched roof of irregular shape, usually with a dominant front-facing gable; patterned shingles, cutaway bay windows, and other devices used to avoid a smooth walled appearance; asymmetrical facade with partial or full-width porch which is usually one story high and extended along one or both side walls.

EXAMPLE: Bennett House, c. 1899



## TREVITT'S ADDITION

MISSION (1890-1920) - mission-shaped dormer or roof parapet (these may be on either main roof or porch roof); commonly with red tile roof covering; widely overhanging eaves, usually open; porch roofs supported by large, square piers, commonly arched above; wall surface usually smooth stucco.  
EXAMPLE: Vogt Hall, 1921



FALSE THATCHED ROOF (1890-1940) - this rare but very distinctive subtype of the Tudor attempt to mimic with modern materials the picturesque thatched roofs of rural England. Typically, composition roofing materials are rolled around eaves and rakes to suggest a thick layering of thatch. The original composition materials frequently had irregular surface textures, also suggesting thatch, but these have usually been replaced by later coverings with regular shingled patterns. Such roofs were occasionally used on Tudor houses of all types, from modest cottages to grand landmarks.

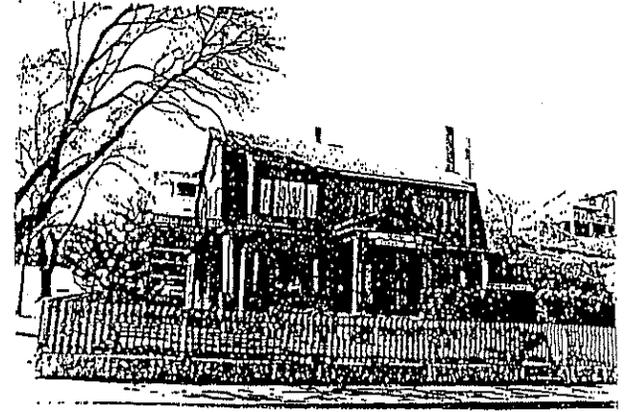
EXAMPLE: Stadelman House, 1925



## TREVITT'S ADDITION

**DUTCH COLONIAL REVIVAL (1895-1915)** - About 10 percent of Colonial Revival houses have gambrel roofs. Most are one story with steeply pitched gambrels containing almost a full second story of floor space; these have either separate dormer windows or a continuous shed dormer with several windows. A full-width porch may be included under the main roof line or added with a separate roof. This subtype is known as Dutch Colonial, but very few examples closely follow early Dutch precedent. From about 1895 to 1915 the most common form has a front-facing gambrel roof, occasionally with a cross gambrel at the rear. These are influenced by the typical gambrels of the earlier Shingle style. Side gambrels, usually with long shed dormers, became the predominant form in the 1920's and 30's.

EXAMPLE: Bonn House, c.1920



**CRAFTSMAN (1905-1930)** - low-pitched, gabled roof (occasionally hipped) with wide, unenclosed eave overhang; roof rafters usually exposed; decorative (false) beams or braces commonly added under gables; porches, either full- or partial-width, with roof supported by tapered square columns; columns or pedestals frequently extend to ground level (without a break at level of porch floor).

EXAMPLE: Schanno House I, 1918



## TREVITT'S ADDITION

NORMAN FARMHOUSE (1915-45) - a subtype of the "french eclectic" which is characterized by tall, steeply pitched hipped roof (occasionally gabled in towered subtype) without dominant front-facing cross gable; eaves commonly flared upward at roof-wall junction; brick, stone, or stucco wall cladding sometimes with decorative half-timbering.

EXAMPLE: Hudson House, 1937



SPANISH ECLECTIC (1915-1940) - one story (less commonly two stories) with low-pitched or flat roof; thick masonry walls of adobe brick or rubble stone (usually covered with protective stucco); originally with multiple external doorways and few small window openings, which were closed from the interior by solid wooden shutters; except in reconstructions, most such early windows have been altered to accommodate double-hung, glazed sashes and trim.

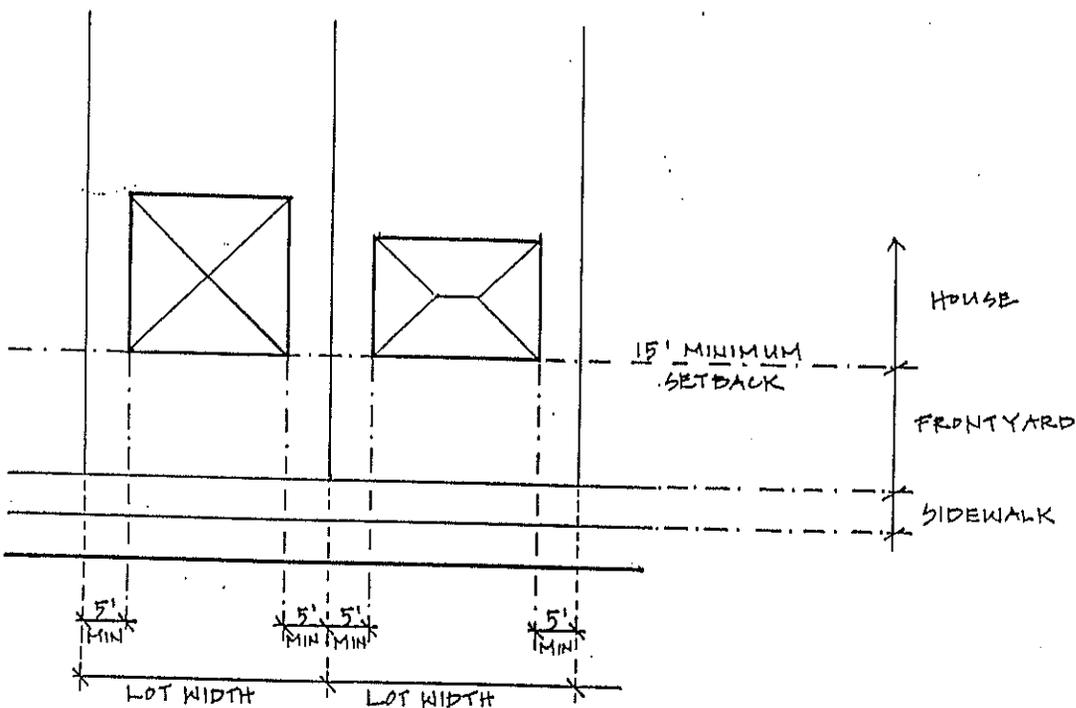
EXAMPLE: Coberth House, c. 1927-28



## TREVITT'S ADDITION

### LANDSCAPING

Yards in the Trevitt's Addition vary as a result of the topography and in general the houses are setback from the sidewalk in contrast with the commercial district. They have three zones; sidewalk, front yard and house. New construction and rehabilitation should maintain the alignment of houses in the district and the historic character of the yards.



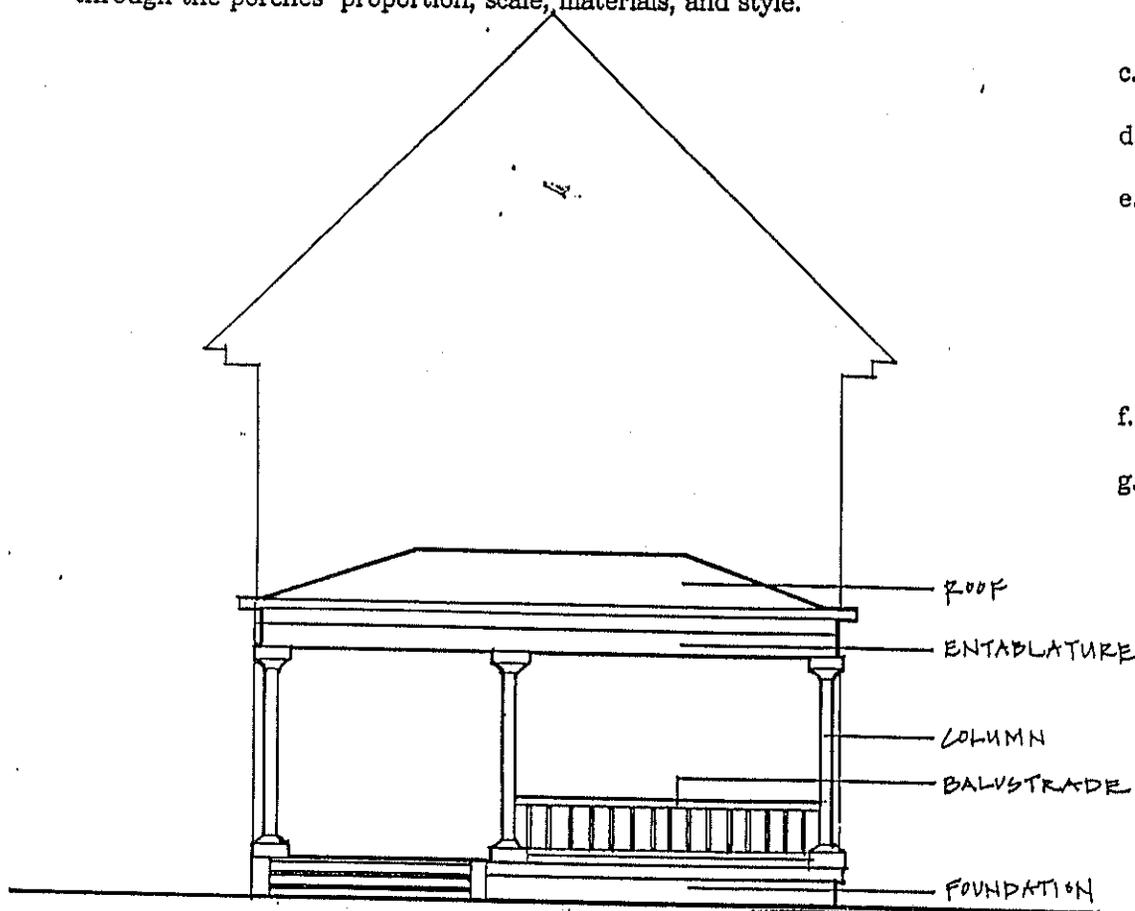
### GUIDELINES:

- New construction should be set back from the street property line a minimum of 15 feet.
- Street facing portions of the property should be preserved so that the public's visual access is not obstructed.
- Shrubs, trees, and foundation plantings should not dominate the appearance of the house; rather, they should be complimentary and highlight important features of the building.
- Preserve and maintain all mature landscaping, remove only if diseased or presenting a life safety hazard.
- New construction should keep landscaping low near the building using flowers and low shrubs with larger plants and trees further away from the building.
- In choosing landscaping elements the following should be considered:
  - style of house
  - climate appropriate plantings
- Use of fences is recommended provided they are in keeping with the style of the house and the scale of the neighborhood.
- The use of historic photographs for reference is recommended.

## TREVITT'S ADDITION

### PORCHES

Porches are a prevalent aspect in Trevitt's Addition and they vary from small stoops to grand verandas. The porch is an integral part of the home in that it serves as both a functional and decorative element. It provides the transition from outdoor to indoor, public to private. New construction and rehabilitation should retain the neighborhood's historic character through the porches' proportion, scale, materials, and style.



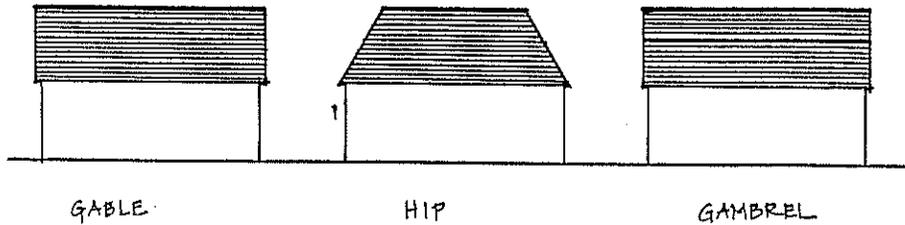
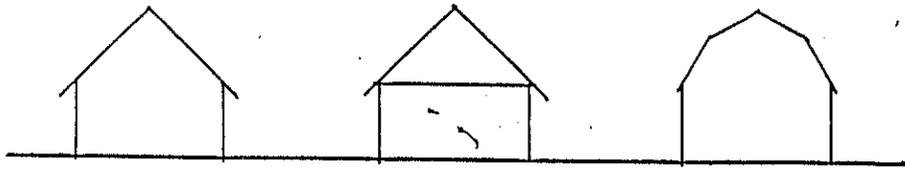
### GUIDELINES:

- a. Preservation of defining features such as columns, entablature, railings and other details is important to maintaining the overall character of the house.
- b. When original elements are too damaged to restore or rehabilitate, the materials and craftsmanship used to repair the porch should replicate the original construction (see page 2, Secretary of the Interior's Standards for Rehabilitation).
- c. When adding or remodeling a porch on a historic home the use of photographs for reference is recommended.
- d. Retain all representative distinctive damaged material as a future record.
- e. Preventive maintenance can help avoid costly repairs. Annual inspection should include checking:
  - proper roof drainage
  - integrity of roofing material
  - blistering paint (water leakage)
  - damp areas
  - substructure for water and insect damage
- f. New construction should use a simple design with hip or shed roof with simple posts and handrails.
- g. The following materials are prohibited:
  - corrugated fiberglass
  - metal siding
  - wrought iron porch supports
  - prefabricated trellis
  - plywood
  - exposed concrete block

## TREVITT'S ADDITION

### ROOFING

Roof forms contribute to the character of Trevitt's Addition in their form. They are predominantly gables with an assortment of gambrels and hips. New construction and rehabilitation should maintain the residential nature of the roof forms of the historic neighborhood.



### GUIDELINES:

- a. Wherever possible preserve, repair and protect existing materials and forms (see page 2, Secretary of the Interior's Standards for Rehabilitation).
- b. New construction should use roof forms that are consistent with the residential buildings in the neighborhood.
- c. Gable, hip, and gambrel roof forms are recommended.
- d. Flat roof forms for new construction are not recommended and are usually associated with commercial buildings.
- e. Both new construction and rehabilitation should use wood or asphalt shingles.
- f. Metal roofing and wood shakes are not recommended, unless original (St. Peter's Catholic Church).
- g. If replacement or repair is necessary, retain a portion of original roofing for future information.
- h. The use of historic photographs for reference is recommended.

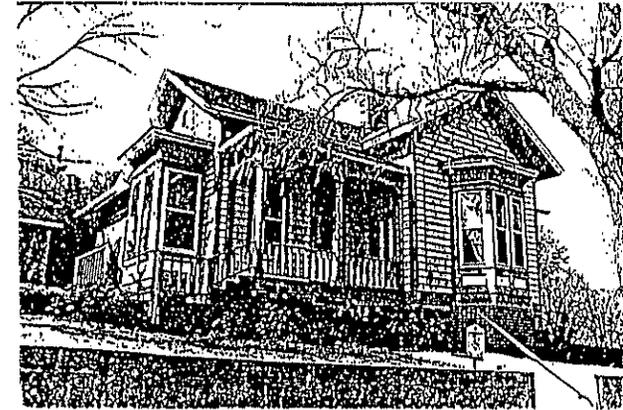
## TREVITT'S ADDITION

### SIDING

The sense of cohesiveness and continuity of Trevitt's Addition derives in part from the consistent use of building materials in building facades: horizontal wood siding, brick, and stucco. New construction and rehabilitation should use materials that provide scale and relate to the historic residential character.

#### GUIDELINES:

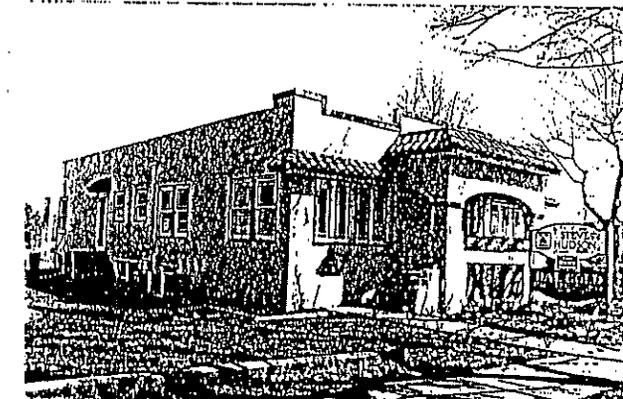
- a. Wherever possible preserve, repair and protect existing materials (see page 2, Secretary of the Interior's Standards for Rehabilitation).
- b. If necessary, siding should be replaced with in-kind materials (see page 2, Secretary of the Interior's Standards for Rehabilitation).
- c. The use of materials appropriate to the building style is recommended.
- d. Be consistent with the original siding in terms of style and exposure.
- e. When replacing shingle siding it is recommended to use shingles with the same texture, exposure, pattern and to install with the same construction technique.
- f. In general all buildings should have wood siding that is painted.
- g. For new construction the use of stucco, brick and wood siding is recommended.
- h. The use of aluminum, vinyl and plywood siding is prohibited.



Example of horizontal wood siding.



Example of brick.

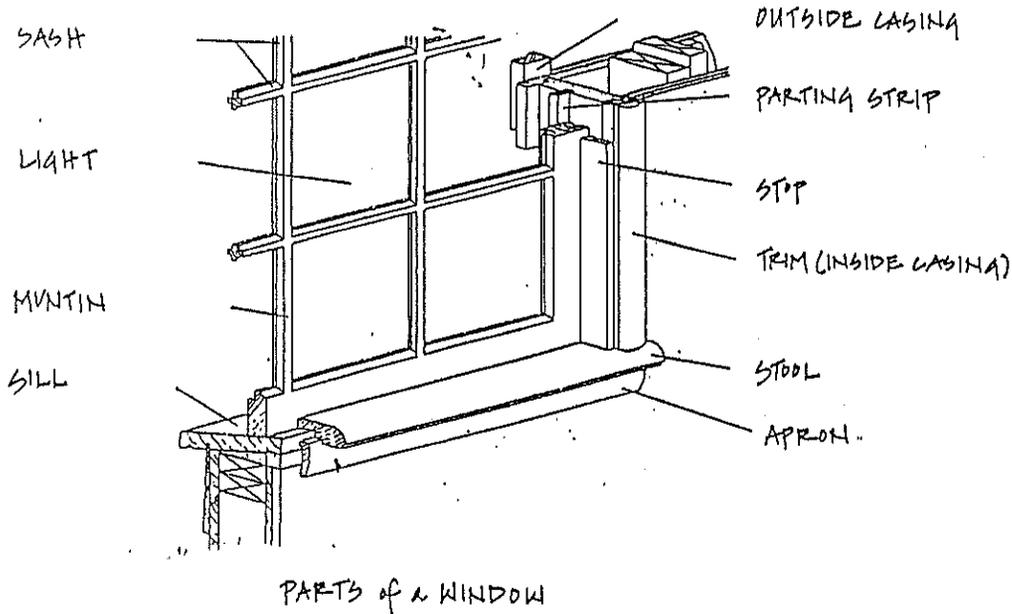


Example of stucco.

## TREVITT'S ADDITION

### WINDOWS & DOORS

Windows and doors serve in giving character to the American house. They provide proportion and scale to the elevation. In Trevitt's Addition windows are predominantly double-hung sash. Door styles vary throughout the neighborhood. New construction and rehabilitation should try and preserve the historic character of the windows and doors through proportion, scale, and rhythm.



### GUIDELINES:

- a. When dealing with historic windows and doors it is best to repair before replacing (see page 2, Secretary of the Interior's Standards for Rehabilitation).
- b. Replacement of the original windows and doors is not recommended. However, when replacement is necessary the material, size, proportion, scale, and detail of the original should be matched in order to preserve the historic integrity.
- c. Original muntin configuration should be kept as it gives scale and proportion to the overall reading of the window.
- d. If no original material exists the use of historic photographs is recommended.
- e. The use of thermal shutters and shades is recommended for weatherization as it does not effect the original windows, providing a non-impacting solution.
- f. Interior storm windows are recommended.
- g. Weatherstripping and caulking should be checked regularly to ensure good weatherization.
- h. New construction should use double-hung, one over one, or two over two windows with simple flat trim.
- i. The use of vinyl windows is not recommended.
- j. Reflective glass is prohibited.

## TREVITT'S ADDITION

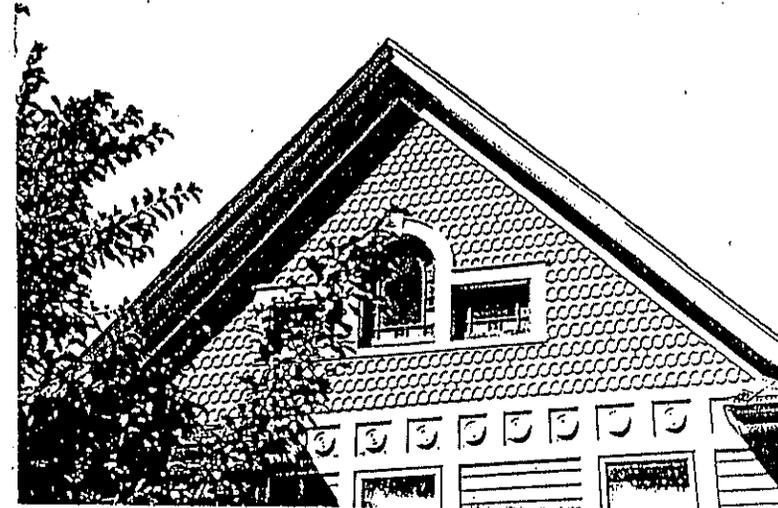
### COLOR

Trevitt's Addition has a varied range of building colors which contributes to the liveliness of the neighborhood. New paint should maintain an overall image of variety, without providing a strict palette, allowing for flexibility and freedom, which created the current appearance of the neighborhood.



### GUIDELINES:

- a. Research and replication of original paint colors is recommended.
- b. As a rule it is recommended that three colors be used:
  - darkest-window sash
  - medium-building
  - lightest-trim, detail
- c. In choosing a color scheme for a house, consult the local hardware stores which have historic paint palettes for suggested styles.
- d. In general earth tones are recommended.
- e. Lighter colors used for smaller homes help to give them more presence.
- f. Houses should use varying color palettes in an effort to retain the sense of variety in the neighborhood.



Two examples of residential homes using the three color palette.

## APPENDIX A

### RESOURCES

Wasco County Historical Society  
300 W. 13th Street  
The Dalles, OR 97058  
(503) 296-1867

Wasco County Historical Museum  
203 W 4th Street  
The Dalles, OR 97058  
(503) 296-6686

National Mainstreet Center  
National Trust for Historic Preservation  
1785 Massachusetts Ave, NW  
Washington, DC 20036  
(202) 673-4271

Western Regional Office  
National Trust for Historic Preservation  
One Sutter Street, Suite 707  
San Francisco, CA 94104  
(415) 956-0610

State Historic Preservation Office (SHPO)  
1115 Commercial Street, NE  
Salem, OR 97310-1001  
(503) 378-5001

Historic Preservation League of Oregon (HPLO)  
P.O. Box 40053  
Portland, OR 97240  
(503) 243-1923

Oregon Economic Development Department  
775 Summer, NE  
Salem, OR 97310  
(503) 986-0066

Bosco Milligan Foundation  
P.O. Box 14157  
Portland, OR 97214  
(503) 231-7264

Oregon Historical Society  
1200 SW Park Avenue  
Portland, OR 97205  
(503) 222-1741

## APPENDIX B

### BIBLIOGRAPHY

- Bowsher, Alice Meriwether. Design Review in Historic Districts, A Handbook for Virginia Review Boards, 1978.
- Dodds, Linda and Ted Schneider. "The Dalles Commercial Historic District," National Register of Historic Places Nomination, 1985.
- Donovan, Sally. "Trevitt's Addition Historic District National Register Nomination, 1994.
- Keeping Up Appearances. Storefront Guidelines. National Trust for Historic Preservation, 1983.
- McAlester, Virginia & Lee. A Field Guide to American Houses. New York: Alfred A. Knopf, 1991.
- National Park Service. The Secretary of the Interior's Standards for Rehabilitation (Revised), 1989.
- Phillips, Steven J. Old-House Dictionary. An Illustrated Guide to American Domestic Architecture (1600-1940). Lakewood, CO: American Source Books, 1989.
- Pregliasco, Janice. Developing Downtown Design Guidelines. California Main Street Program, 1988.

## APPENDIX C

### GLOSSARY

- addition/removal-* The addition to, removal of or from, or physical modification or repair of, any exterior part or portion of a historic resource designated pursuant to this ordinance.
- alteration-* See addition/removal, new construction, relocation.
- architectural significance-* Means a resource (1) embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship; or (2) is a representative of the notable work of a builder, designer, or architect.
- building-* Any structure having a roof supported by columns or by walls and designed for the shelter or housing of any person, animal or article. Examples of buildings include houses, barns, stables, sheds, garages, courthouses, city halls, social halls, schools, stores, churches, etc.
- cornice-* The projection at the top of a wall; the top course or molding of a wall when it serves as a crowning member.
- demolition-* To raze, destroy, dismantle, deface, or in any other manner, cause partial or total ruin of a designated historic resource, including the destruction of any non-historic resource within a designated historic district.
- district-* A geographic area possessing a significant concentration, linkage, continuity or design relationship of historically significant sites, structures, landscape features, or objects unified by past events or physical development. Examples of districts include college campuses, central business districts, residential areas, commercial areas, industrial complexes, civic centers, etc.
- facade-* The principal face or front elevation of a building.
- historic landmark-* A historic resource that has been so designated by The Dalles Historic Landmarks Commission (HLC) due to findings of significance.
- historic resource-* See building, district, landscape, object, site, and structure.
- historical significance-* Means a resource (1) exemplifies or reflects special elements of the City's cultural, social, economic, political, aesthetic, engineering, or architectural history; (2) is identified with persons or events significant in local, state, or national history; or (3) is prehistoric.
- landscape-* The natural and/or built environment, setting, or composition. Examples of landscapes include trees, vines, gardens, fountains, reflective pools, art work, walls, etc., and often the combination of several such elements.
- new construction-* The construction of a new building within a designated historic district.

*object-* A significant physical element within the environment that can be seen and recorded. Examples of objects include sculpture, monuments, boundary markers, statuary, and fountains.

*parapet-* A low wall or protective railing; often used around a balcony or balconet, or along the edge of a roof.

*preservation-* Is the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

*rhythm-* An ordered recurrent alternation of strong and weak elements.

*relocation-* The process of removing and relocating a designated historic resource, including the removing and relocating of any non-historic resource within a designated historic district.

*reconstruction-* Is the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

*rehabilitation-* Is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

*restoration-* Is the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

*scale -* Created by the size of units of construction and architectural detail which relate to the size of man.

*site-* A physical place of significance. Sites can include rock shelters, village sites, hunting and fishing sites, petroglyphs, rock carvings, ruins, campsites, sites of treaty signings, cemeteries, designed landscapes, natural features, and land areas having cultural significance.

*structure-* Anything constructed or erected which requires location on, within or above the land. Examples of structures include bridges, tunnels, canals, dams, power plants, silos, roadways, grain elevators, mounds, boats and ships, railroad locomotives and cars, aircraft, etc.

*transom windows-* A small window or series of panes above a door, or above a casement or double-hung window.

## APPENDIX D

### ORDINANCES

- A. Historic Ordinance
- B. Sign Ordinance

Copies of these ordinances can be reviewed at the Community Development Department at City Hall, 313 Court Street.